

**MANASQUAN PLANNING BOARD MEETING AGENDA
CONDUCTED WITH ZOOM
AUGUST 02, 2022 7:00 PM – TUESDAY**

Join Zoom Meeting

<https://us06web.zoom.us/j/6652076223?pwd=WFZiUVcyQ0tqOHlrajFUa0dpRTc3Zz09>

OR

Tel – 1-646 876 9923 US (New York)

ID # 665 207 6223

Password 365 120

Please take notice that the Manasquan Planning Board will convene a remote meeting on August 02, 2022 7:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

1. Approval of Vouchers
2. Regular Meeting Minutes - September 21, 2021
3. Regular Meeting Minutes - December 7, 2021
4. Regular Meeting Minutes - June 7, 2022
5. Special Meeting Minutes - June 21, 2022

RESOLUTION

6. #26-2022 Tackett, Frank - 75 Beachfront/74 First Avenue - Block 165 Lot 30 - Application #16-2021
7. #27-2022 Lovely, Mary -519 Perrine Blvd. - Block 145 Lot 1.04 - Application #07-2022
8. #28-2022 Ocean Bay Developers - 39 South Street - Block 23 Lot 7.02 - Application #08-2022
9. #29-2022 Manasquan Holdings - 176 East Main Street - Block 90 Lot 12 - Application #10-2022

APPLICATION

- [10.](#) #43-2021 VFW Lodge 1838 - 30 Ridge Avenue - Block 43 Lot 40.1 (carried from 6/7/22)
- [11.](#) Informal Presentation - 14 Meadow Avenue
- [12.](#) Informal Presentation - 66 N. Potter Avenue
- [13.](#) #09-2022 LeBlanc, Kenneth & Ellen - 117 First Avenue - Block 168 Lot 6

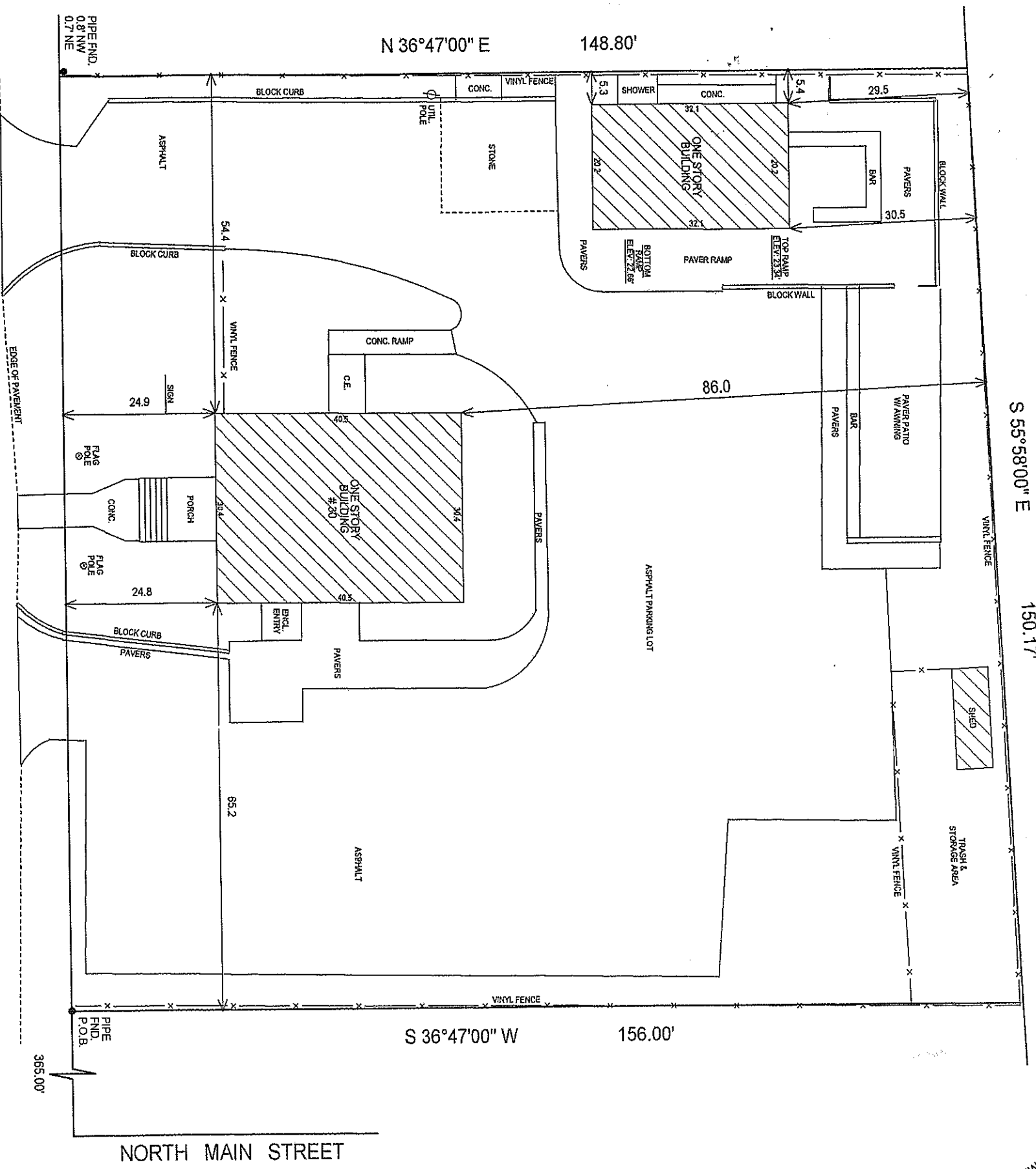
CLOSED SESSION

- 14. OCLAR v. Atlantic View Cemetery

OTHER BUSINESS

- 15. Cancel August 16, 2022 Special Meeting
Comments from individual board members

ADJOURNMENT



SURVEY NOTES:
ALL ELEVATIONS NAVD 1988

THIS SURVEY CERTIFIED TO:
MANASQUAN VFW POST 1838

BEING KNOWN AS LOTS 46, 47 & 48 ON A MAP ENTITLED "PLAN OF THE HIGGINS TRACT, BOROUGH OF MANASQUAN, MONMOUTH CO." FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE APRIL 1, 1910 AS CASE NO. 13-20.

This survey subject to any easement of record and other pertinent facts which an accurate title search might disclose. Any subsurface easements, if any, not visible are not located by this survey. Due to certain weather conditions, i.e., ice, and/or snow and/or the overgrown vegetation on the property, interior sidewalks and/or patios may not be shown on the plat. No liability is assumed by the certifying surveyor for the use by any party not shown in the certification. The work product of the surveyor constitutes an opinion of the land surveyor as to the nature and quality of the property surveyed. Moreover, that certification does not constitute a warranty, either expressed or implied as to the absolute correctness of the information presented in such survey.

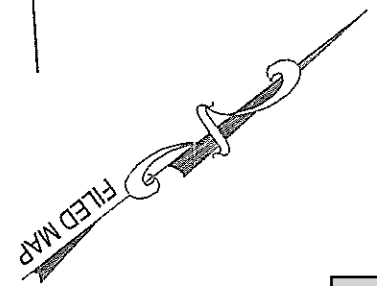
Charles O'Malley
CHARLES O'MALLEY, P.L.S.

CHARLES O'MALLEY, PLS, LLC
Professional Land Surveyor
New Jersey Lic. No. 24GS03487100
908 Riverview Drive
Brielle, New Jersey 08730
(732) 223-3141

PLAN OF SURVEY

LOT 4.01 BLOCK 43
BOROUGH OF MANASQUAN
MONMOUTH COUNTY
NEW JERSEY

Drawn By clom	Chkd By C.O.M.	File No. 13-133558	Date 3/4/21	Scale 1" = 20'
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**PLANNING BOARD APPLICATION
MANASQUAN, NEW JERSEY**

I. APPLICANT: Manasquan VFW Lodge 1838

Address: 30 Ridge Ave, Manasquan, NJ 08736

Phone: 732-962-8566

**Property Address: 30 Ridge Ave
Block 43, Lot 4.01, Zone R-2
Manasquan, New Jersey 08736**

II. TYPE OF APPLICATION: Preliminary and Final Minor Site Plan Approval with a Use Variance and Bulk Variances

Section 35-18.3 Planning Board approval required for proposed Minor Site Plan Approval

	REQUIRED	EXISTING	PROPOSED
Lot Frontage	50 ft	150 ft	150 ft
Lot Area	5,000 sq ft	22,860 SF	22, 860 SF
Front Setback	25ft	24.62 ft *	24.62 ft * Existing Non-Conformity
Side Yard Setback	5/10 ft	46.53 ft & 59.07 ft	46.53 ft & 59.07 ft
Rear Setback	20 ft	86.61 ft	86.61 ft
Max Height	35 ft	<35 ft	<35 ft
Max No. Stories	2.5	1 Story	1 Story
Building Coverage	30%	9.33%	13.28%
Lot Coverage	45%	62.44%*	62.86%**

Accessory Building:35-5.2b (Garage)	REQUIRED	EXISTING	PROPOSED
Bldg Area	600 sq ft	600 SF*	600 SF*
Side Yard Setback	5 ft	5 ft	5 ft
Rear Setback	5 ft	30 ft	30 ft
Max Height	15 ft	15 ft	15 ft

Accessory Building:35-5.2b (Shed 16x6)	REQUIRED	EXISTING	PROPOSED
Bldg Area	100 SF	N/A	96 SF**
Side Yard Setback	5 ft	N/A	±47 ft
Rear Setback	5 ft	N/A	±2 ft**
Max Height	10 ft	N/A	<15 ft

****Indicates a need for a variance**

*** Indicates existing non-conformity (previously approved)**

III. SITE INFORMATION:

Street Address: 30 Ridge Ave

Block 43, Lot 4.01

Zoning Districts: R-2

Present Use: Social Club

Proposed Use: Social Club

Permitted Use: One Single Family dwelling

VI. ZONE REQUIREMENTS: R-2 Zone

Min. Lot Area: 5,000 sq ft

Min Lot Frontage: 50 ft

Front Yard Setback: 25 ft

Side Setback: 5/10 ft

Rear Setback: 20 ft

Max. Bldg. Height: 35 ft

Max Stories: 2 ½

Max. Bldg. Coverage: 30%

Max. Lot Coverage: 45%

V. MISCELLANEOUS:

- 1. Is the Applicant the Landowner? Yes
- 2. Does the Applicant own any adjoining land? No
- 3. Are the property taxes paid to date? Yes
- 4. Have there been any previous applications to the Planning Board or Board of Adjustment concerning this property? Yes
- 5. Are there any deed restrictions, easements or covenants affecting the property? Applicant will submit upon request.

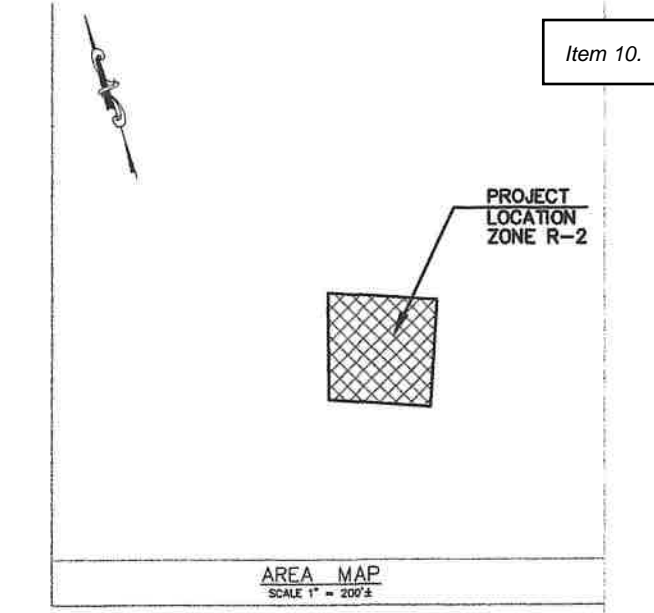
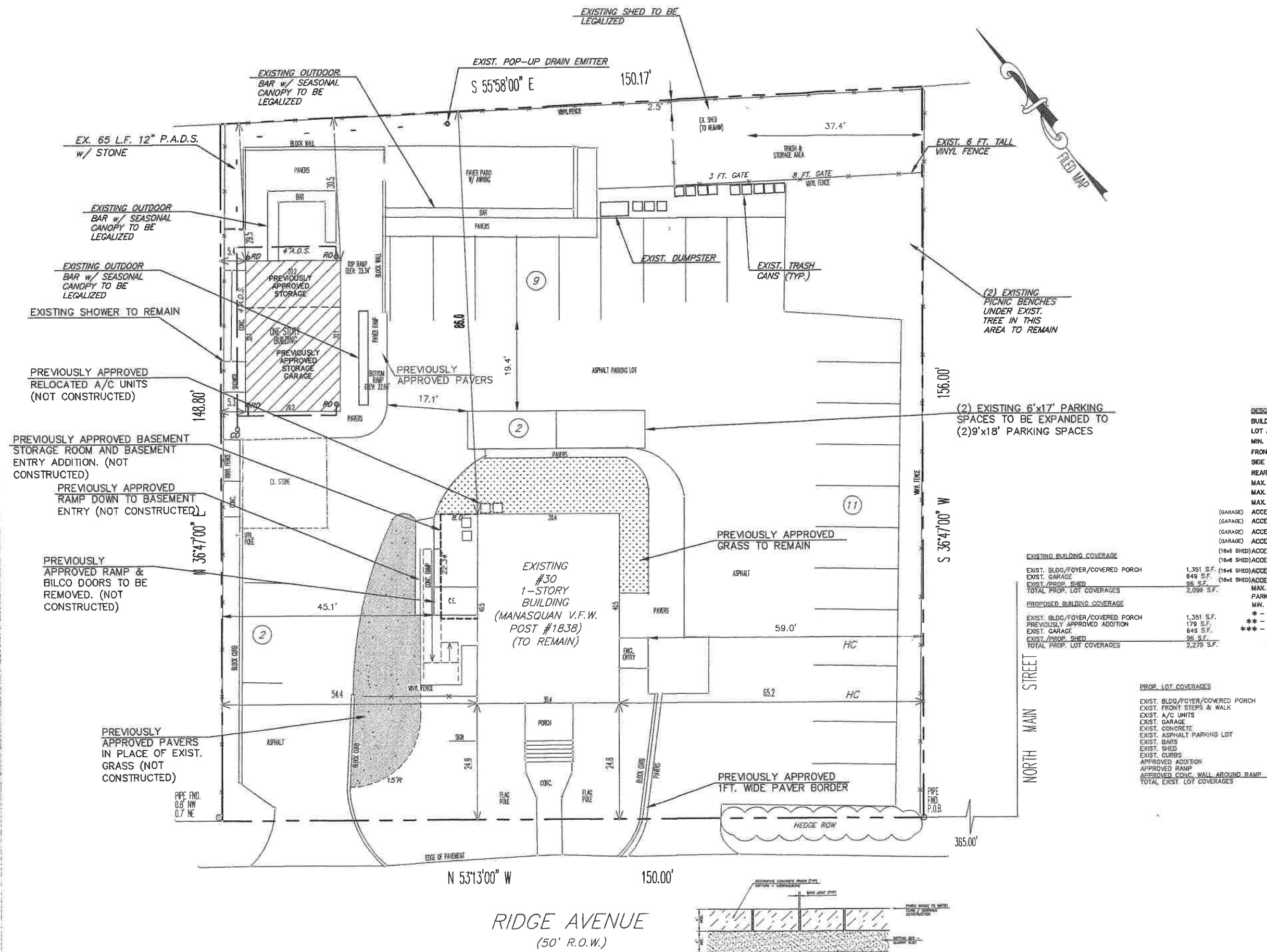
VI. COMMENT:

Applicant seeks to legalize an existing non-conforming use for a social club on the property along with the construction of a covered outdoor bar area attached to the existing detached garage and a covered patio in the rear yard.

The Applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter, if necessary.

8/27/21
Date


MICHAEL D. HENDERSON, ESQ
Attorney for Applicant



GENERAL NOTES

PROPERTY ID KNOWN AS BLOCK 43 LOT 4.01 AS SHOWN ON SHEET 7 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

PROPERTY IS LOCATED IN THE R-2 RESIDENTIAL ZONE AND CONTAINS A TOTAL OF 0.5248± ACRES.

APPLICANT: MANASQUAN V.F.W. POST No. 1838
30 RIDGE AVENUE
MANASQUAN N.J.

APPLICANT PROPOSES TO CONSTRUCT A SHED & COVERED PATIO AREA

ZONE R-2

DESCRIPTION	REQUIRED/PERMITTED	PREVIOUSLY APPROVED	PROPOSED
BUILDING USE	RESIDENTIAL	SOCIAL CLUB	SOCIAL CLUB
LOT AREA	5,000 S.F.	22,880 S.F.	22,860 S.F.
MIN. LOT FRONTAGE	50 FT.	150.0 FT.	150.0 FT.
FRONT YARD SETBACK	25 FT.	** 24.62 FT.	** 24.8 FT.
SIDE YARD SETBACK	5 & 10 FT.	46.53 & 59.07 FT.	45.1 & 59 FT.
REAR YARD SETBACK	20 FT.	86.61 FT.	88 FT.
MAX. BUILDING COVERAGE	30 % (8,858 S.F.)	9.33 % (2,133 SF)	9.95 % (2,275 S.F.)
MAX. LOT COVERAGE	45 % (10,287 S.F.)	** 62.44% (14,274 SF)	59.56 % (13,616.50 SF)
MAX. BLDG. HEIGHT	35 FT. (2.5 STORY)	< 35 FT. (1 STORY)	< 35 FT. (1 STORY)
(GARAGE) ACCESS. BLDG. SIDE S.B.	5 FT.	5 FT.	5.3 FT.
(GARAGE) ACCESS. BLDG. REAR S.B.	5 FT.	30 FT.	29.5 FT.
(GARAGE) ACCESS. BLDG. HEIGHT	15 FT.	15 FT.	15 FT.
(GARAGE) ACCESS. BLDG. AREA	600 S.F.	*600 S.F.	***649 S.F.
(16x6 SHED)ACCESS. BLDG. SIDE S.B.	5 FT.	N/A	37.4 FT.
(16x6 SHED)ACCESS. BLDG. REAR S.B.	5 FT.	N/A	***2.5 FT.
(16x6 SHED)ACCESS. BLDG. HEIGHT	10 FT.	N/A	< 10 FT.
(16x6 SHED)ACCESS. BLDG. AREA	100 S.F.	N/A	98 S.F.
MAX. # OF ACCESSORY BLDGS.	1 BUILDING	1 BUILDING	***2 BUILDINGS
PARKING (1/200 S.F.)	8 SPACES	24 SPACES	24 SPACES
MIN. SHOWER SETBACK	5 FT.	N/A	***0.8 FT.

* - INDICATES GRANTED VIA RESOLUTION # 21-2013
 ** - INDICATES PREVIOUSLY GRANTED APPROVAL FOR 92.67 % VIA RESOLUTION # 21-2013
 *** - INDICATES NEW VARIANCE REQUIRED
 - GRADES SHOWN BASED ON NAVD 88 DATUM.
 - PROPERTY SHALL BE SERVICED BY EXISTING PUBLIC SEWER AND WATER SERVICES
 - EXISTING CURB SHALL BE REPLACED AS DETERMINED BY THE ZONING OFFICER

EXISTING BUILDING COVERAGE

EXIST. BLDG./FOYER/COVERED PORCH	1,351 S.F.
EXIST. GARAGE	649 S.F.
EXIST./PROP. SHED	95 S.F.
TOTAL PROP. LOT COVERAGES	2,095 S.F.

PROPOSED BUILDING COVERAGE

EXIST. BLDG./FOYER/COVERED PORCH	1,351 S.F.
PREVIOUSLY APPROVED ADDITION	179 S.F.
EXIST. GARAGE	649 S.F.
EXIST./PROP. SHED	95 S.F.
TOTAL PROP. LOT COVERAGES	2,275 S.F.

PROP. LOT COVERAGES

EXIST. BLDG./FOYER/COVERED PORCH	1,354 S.F.	EXIST. BLDG./FOYER/COVERED PORCH	1,354 S.F.
EXIST. FRONT STEPS & WALK	10 S.F.	EXIST. FRONT STEPS & WALK	140 S.F.
EXIST. A/C UNITS	649 S.F.	EXIST. A/C UNITS	10 S.F.
EXIST. CONCRETE	86 S.F.	EXIST. GARAGE	600 S.F.
EXIST. ASPHALT PARKING LOT	10,008 S.F.	MODIFIED PAVED PARKING LOT	11,784 S.F.
EXIST. BARS	216 S.F.	PROP. ADDITION	179 S.F.
EXIST. SHED	95 S.F.	PROP. RAMP	174 S.F.
EXIST. CURBS	77 S.F.	PROP. CONC. WALL AROUND RAMP	33 S.F.
APPROVED ADDITION	179 S.F.	TOTAL PROP. LOT COVERAGES	14,274 S.F.
APPROVED RAMP	174 S.F.		
APPROVED CONC. WALL AROUND RAMP	33 S.F.		
TOTAL EXIST. LOT COVERAGES	13,616.50 S.F.		

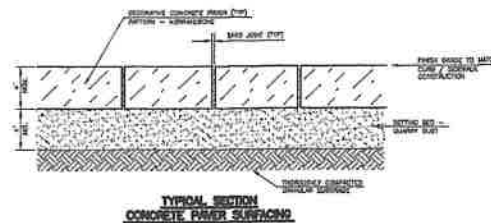
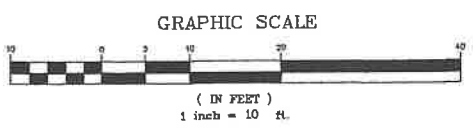
10/25/21 - REVISED TO SHOW UPDATED FIELD CONDITIONS
 7/28/21 - REVISED SHED PER OWNER
 7/20/21 - REMOVED REFERENCE TO SHED THAT WAS REMOVED FROM SITE.
 10/7/20 - REVISED PER OWNER
 7/13/16 - REVISED PER OWNER
 10/7/13 - REVISED PER ZONING REVIEW DATED 5-25-13.
 9/11/13 - REVISED PER OWNER.
 8/1/13 - REVISED PER ZONING BOARD MEETING COMMENTS.

MANASQUAN V.F.W. PRELIMINARY & FINAL SITE PLAN
AMENDED SITE PLAN
 BLOCK 43 - LOT 4.01
 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J.

R.C. ASSOCIATES Consulting, Inc.
 Valley Park Professional Center
 2517 Route 35 Building J Suite 102
 Manasquan, New Jersey, 08738
 Ph. 732-528-0141 • Fax 732-528-1060

RAY CARPENTER P.E.
 PROFESSIONAL ENGINEER, N.J. Lic. No. GE23223

C.A. #24G28108900
 DRN BY: ACAD
 DATE: 10/11/21
 SCALE: AS SHOWN
 JOB #: 2012.180
 SHEET: 1 OF 1



RECEIVED OCT 26 2021

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFO _____
SEP 13 2021
DPW _____ CONST _____
PD _____ OTHER _____

September 9, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1690
Amended Site Plan – Manasquan VFW Lodge 1838
Block 43, Lot 4.01
30 Ridge Avenue
R-2 - Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Amended Site Plan prepared by Ray Carpenter, PE, of R.C. Associates, Inc., dated October 11, 2012, last revised July 26, 2021.
2. Architectural Layout prepared by Brian Collins, RA, dated March 24, 2021.
3. Plan of Survey prepared by Charles O'Malley, PLS, dated March 4, 2021.

The property is located in the R-2 - Residential Zone with frontage on Ridge Avenue. With this application, the applicant proposes to construct an outdoor bar connected to the existing rear building, and an additional outdoor bar in the rear yard, which will both be covered by seasonal canopies. The application is deemed complete as of September 9, 2021.

The following are our comments and recommendations regarding this application:

Zoning

1. The property is located in the R-2 – Residential Zone. The existing VFW Lodge is an existing non-conforming use in the zone and the proposed improvements constitute an expansion of the existing non-conforming use.
2. The following bulk ('c') variances are required as part of this application:
 - a. A maximum lot coverage of 45% is permitted, whereas a coverage of 62.86% is proposed (62.44% exists).
 - b. A minimum rear yard setback of 5 feet is required, whereas a setback of 2 feet exists and is proposed to the rear shed.


Re: Boro File No. MSPB-R1690
Amend. Site Plan – Manasquan VFW
Block 43, Lot 4.01

September 9, 2021
Sheet 2

- c. One accessory building is permitted, whereas two accessory buildings exist and are proposed.
3. The following non-conformities exist on Lot 4.01 and are not proposed to be modified as part of this application:
 - a. A minimum front yard setback of 25 feet is required, whereas a setback of 24.628.3 feet exists and is proposed.
4. The applicant should explain the use of the outdoor bar area, including hours of operation, dates of use of the seasonal canopy, and outdoor music or PA systems.
5. There is a sizeable seating area under the canopy area which should be explained to the Board. The seating capacity should also be discussed as relates to parking requirements and the existing number of spaces on site.
6. Any outdoor lighting for the bar area should be shown and lighting levels indicated.
7. Any additional proposed signage should be shown on the plans.
8. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed improvements do not increase the building footprint or impervious coverage by more than 500 square feet.
9. Grades have not been shown to demonstrate handicap accessibility however if no grading changes are proposed the existing grades appear sufficient to meet code requirements.
10. No trees are to be removed as part of the application.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

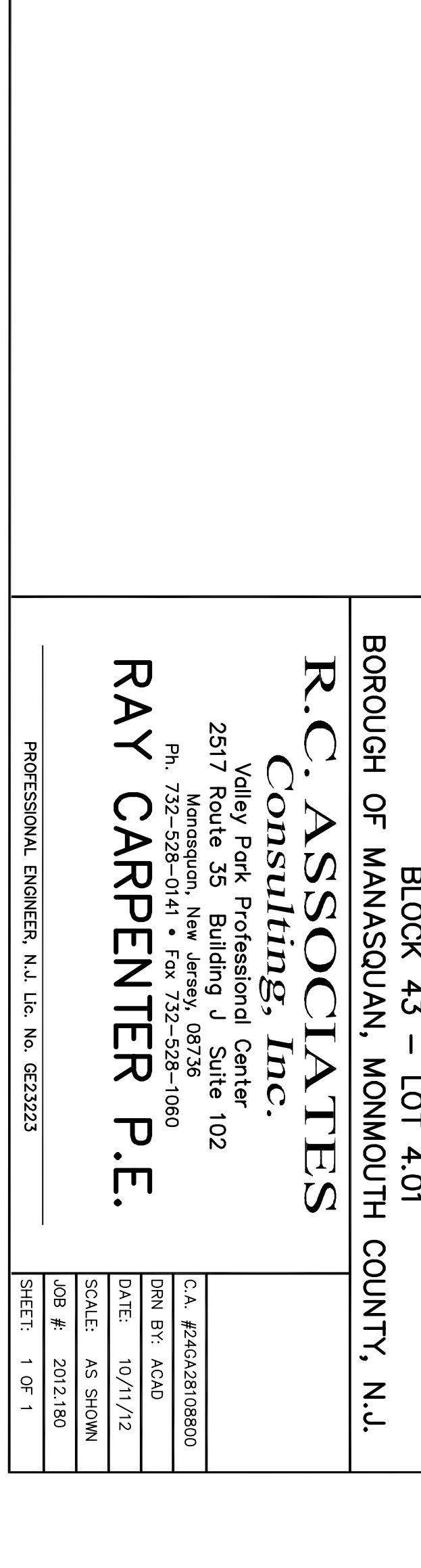
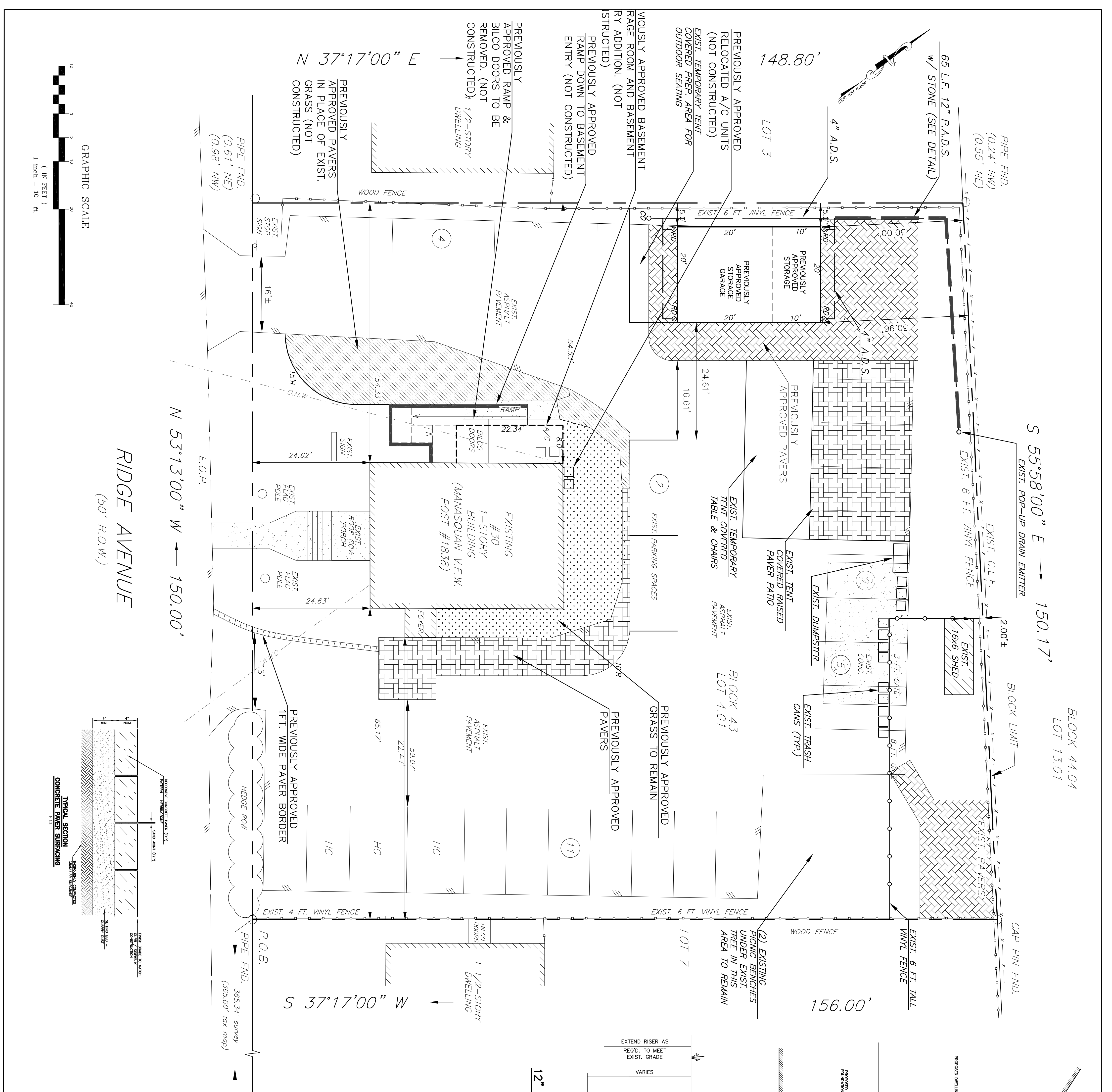
cc: George McGill, esq., Planning Board Attorney
Michael Henderson, esq.
C. Keith Henderson & Associates, 52 Abe Voorhees Drive, Manasquan, NJ 08736



Re: Boro File No. MSPB-R1690
Amend. Site Plan – Manasquan VFW
Block 43, Lot 4.01

September 9, 2021
Sheet 3

Ray Carpenter, PE, PP
R.C. Associates, 2517 Route 35, Bldg J, Suite 102, Manasquan, NJ 08736
Manasquan VFW Lodge 1838
30 Ridge Avenue, Manasquan, NJ 08736



12" A.D.S. RECHARGE
NOT TO SCALE

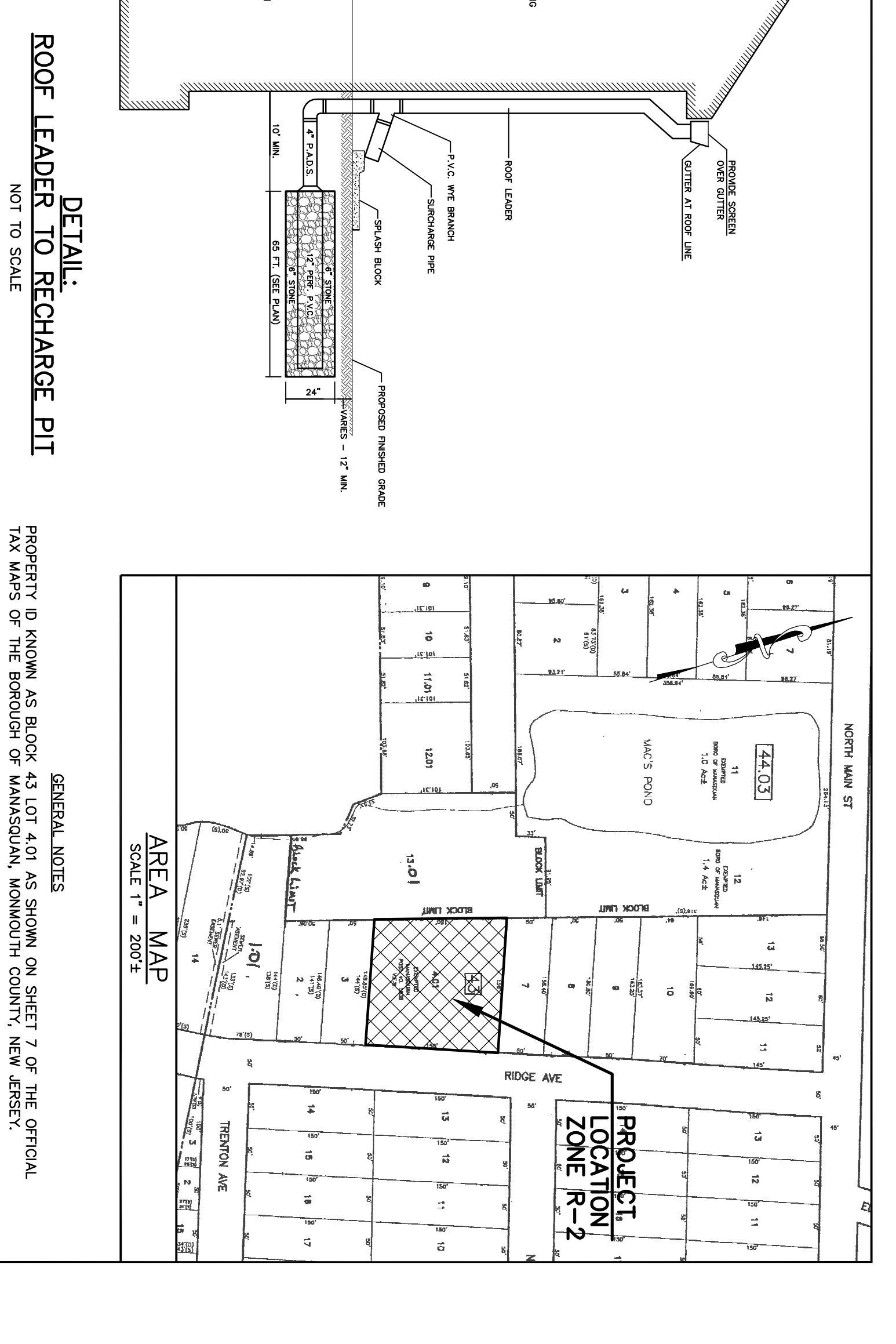
DESCRIPTION	REQUIRED/PERMITTED	EXISTING
BUILDING USE	RESIDENTIAL	SOCIAL CLUB
LOT AREA	5,000 S.F.	22,860 S.F.
MIN. LOT FRONTAGE	50 FT.	150.0 FT.
FRONT YARD SETBACK	25 FT.	**24.62 FT.
5 & 10 FT.	46.53 & 59.07 FT.	46.53 & 59.07 FT.
REAR YARD SETBACK	20 FT.	86.61 FT.
MAX. BUILDING COVERAGE	30 % (6,858 SF)	13.28 % (3,039 SF)
MAX. LOT COVERAGE	45 % (10,287 SF)	**62.44% (14,274 SF)
MAX. BLDG. HEIGHT	35 FT. (2.5 STY)	**62.88 % (14,370 SF)
(GARAGE) ACCESS, BLDG. SIDE S.B.	5 FT.	1 STORY
(GARAGE) ACCESS, BLDG. REAR S.B.	5 FT.	5 FT.
(GARAGE) ACCESS, BLDG. HEIGHT	15 FT.	30 FT.
(GARAGE) ACCESS, BLDG. AREA	15 FT.	15 FT.
(GARAGE) ACCESS, BLDG. SIDE S.B.	600 S.F.	*600 S.F.
(GARAGE) ACCESS, BLDG. SIDE S.B.	5 FT.	±4.7 FT.
(GARAGE) ACCESS, BLDG. REAR S.B.	5 FT.	**±4.2 FT.
(GARAGE) ACCESS, BLDG. HEIGHT	10 FT.	<10 FT.
(GARAGE) ACCESS, BLDG. AREA	100 S.F.	96 S.F.
MAX. # OF SHEDS	N/A	N/A
PARKING (1/200 S.F.)	8 SPACES	24 SPACES
	1 SHED	1 SHED
	8 SPACES	21 SPACES

*** - INDICATES PREVIOUSLY GRANTED APPROVAL FOR 62.87 % VIA RESOLUTION # 21-2013
 ** - INDICATES PREVIOUSLY GRANTED APPROVAL FOR 62.87 % VIA RESOLUTION # 21-2013
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 - GRADES SHOWN BASED ON NAVD 88 DATUM
 - PROPERTY SHALL BE SERVICED BY EXISTING PUBLIC SEWER AND WATER SERVICES
 - EXISTING CURB SHALL BE REPLACED AS DETERMINED BY THE ZONING OFFICER
 TOPOGRAPHIC & BOUNDARY INFORMATION TAKEN FROM A MAP PREPARED BY AGR SURVEYING CO. INC., PROFESSIONAL LAND SURVEYORS, DATED 3/27/12.

EXIST. LOT COVERAGES

EXIST. BLDG./COVERED PORCH	EXIST. FRONT STEPS & WALK	EXIST. CARAGE	EXIST. ASPHALT PARKING LOT	EXIST. SHED OPTION	APPROVED RAMP	APPROVED CONC. WALL AROUND RAMP	TOTAL EXIST. LOT COVERAGES
1,354 S.F.	140 S.F.	10 S.F.	11,784 S.F.	96 S.F.	179 S.F.	33 S.F.	14,274 S.F.
EXIST. BLDG./COVERED PORCH	EXIST. FRONT STEPS & WALK	EXIST. CARAGE	EXIST. ASPHALT PARKING LOT	EXIST. SHED OPTION	APPROVED RAMP	APPROVED CONC. WALL AROUND RAMP	TOTAL EXIST. LOT COVERAGES
1,354 S.F.	140 S.F.	10 S.F.	11,784 S.F.	96 S.F.	179 S.F.	33 S.F.	14,274 S.F.

7/26/21 - REVERSED SHED PER OWNER
 7/20/21 - REMOVED REFERENCE TO SHED THAT WAS REMOVED FROM SITE.
 7/13/16 - REVERSED PER OWNER
 10/7/13 - REVERSED PER ZONING REVIEW DATED 9-25-13.
 9/17/13 - REVERSED PER OWNER
 9/17/13 - REVERSED PER ZONING BOARD MEETING COMMENTS.



MANASSAQUAN V.F.W. PRELIMINARY & FINAL SITE PLAN
AMENDED SITE PLAN
 BLOCK 43 - LOT 4.01
 BOROUGH OF MANASSAQUAN, MONMOUTH COUNTY, N.J.

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 Ph. 732-528-0141 • Fax 732-528-1060

RAY CARPENTER P.E.

PROFESSIONAL ENGINEER, N.J. Lic. No. GZ23223

DATE: 10/11/12
 DRN BY: AAO
 SCALE: AS SHOWN
 JOB #: 2012.180
 SHEET: 1 OF 1

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736



732-223-0540
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

Item 10.

October 14, 2020

Manasquan VFW Lodge 1838
30 Ridge Avenue
Manasquan, NJ 08736

Re: Block: 43 Lot: 4.01 Zone: R-2

Dear Sir or Madam:

On this date we reviewed your application for the following project.

Construction of a covered outdoor bar area attached to the existing detached garage and a covered patio area in the rear yard.

Amended Site plan prepared by Ray Carpenter on October 7, 2020

Application denied for the following reason(s):

Section 35-18.3 – Planning Board approval required for the proposed project.

Section 35-5.3 – R-2 Zone – Permitted Use – Only one single family dwelling permitted.
Social club existing

Section 35-9.4 – Front Setback – 25ft. Required
24.62ft. Existing

Section 35-9.4 – Lot Coverage – 45% Permitted
59.81% Existing
78.6% Proposed

Section 35-5.2b – Accessory Building – 600s.f. Permitted
2,615s.f. Proposed (garage, bar area, patio)

“ - “ (Bar) – Side Setback (Left) – 5ft. Required
3ft. Existing

Section 35-5.2b – Accessory Building (shed) – Only one shed permitted per property
Two sheds existing

“ - “ - 100s.f. Permitted
144s.f. Existing

“ - “ - Rear Setback – 5ft. Required
2ft. Existing

Section 35-13.3 – On site Parking – 1 Space / 200sf. Required
23 Spaces Required
15 Spaces Existing

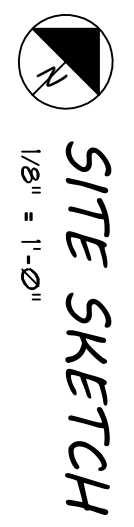
If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



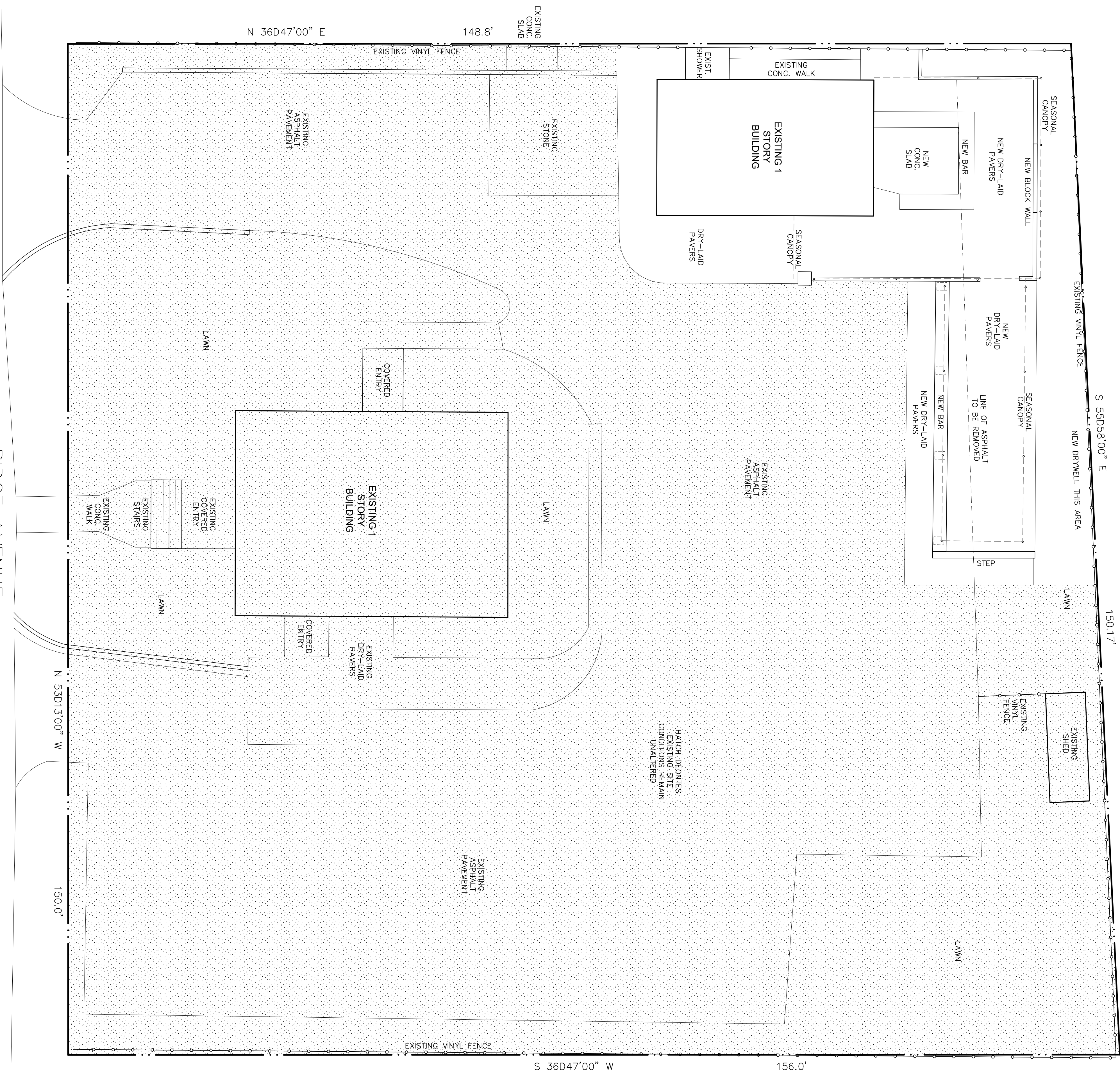
Richard Furey
Zoning/Code Enforcement Officer

ZONING CRITERIA			
ZONE: R2	BASED ON SURVEY BY CHARLES CHALLETY DATED 3/14/2011		
LOT: 43			
BLOCK: 401			
LOT REQUIREMENTS:			
MIN. LOT AREA:	REQUIRED	EXISTING	PROPOSED
MIN. LOT WIDTH:	5,000 SF	22,993 SF	NC
	50'	150'	NC
COVERAGE			
PRINCIPAL BUILDING	30% (6,951 SF)	51% (12,010 SF)	NC
PORCHES	45% (10,281 SF)	64.13% (14,666 SF)	NC
			61% (13,564 SF)



SITE SKETCH
1/8" = 1'-0"

RIDGE AVENUE
50' R.O.W.



DATE: 3/24/2011	<p>SP1</p> <p>SHT. 1 OF 1</p>
DRAWN BY: BMC	
COMPL:	

BRIAN M. COLLIS
ARCHITECTURE
120 JOLT STREET
BRICK, NEW JERSEY 08724
TEL: 848-469-1864

BRIAN M. COLLIS
N. LIC. NO. 21A10134600

SITE IMPROVEMENTS AT YFU POST 1838
30 RIDGE AVENUE
LOT: 401 BLOCK: 43
BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY



September 9, 2021
Revised November 4, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1690
Amended Site Plan – Manasquan VFW Lodge 1838
Block 43, Lot 4.01
30 Ridge Avenue
R-2 - Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Amended Site Plan prepared by Ray Carpenter, PE, of R.C. Associates, Inc., dated October 11, 2012, last revised October 25, 2021.
2. Architectural Layout prepared by Brian Collins, RA, dated March 24, 2021.
3. Plan of Survey prepared by Charles O'Malley, PLS, dated March 4, 2021.

The property is located in the R-2 - Residential Zone with frontage on Ridge Avenue. With this application, the applicant proposes to construct an outdoor bar connected to the existing rear building, and an additional outdoor bar in the rear yard, which will both be covered by seasonal canopies. The application was previously deemed complete on September 9, 2021.

The following are our comments and recommendations regarding this application:

Zoning

1. The property is located in the R-2 – Residential Zone. The existing VFW Lodge is an existing non-conforming use in the zone and the proposed improvements constitute an expansion of the existing non-conforming use.
2. The following bulk ('c') variances are required as part of this application:
 - a. A maximum lot coverage of 45% is permitted, whereas a coverage of 59.56% is proposed (revised from 62.86%, 62.44% exists).
 - b. A minimum rear yard setback of 5 feet is required, whereas a setback of 2.5 feet exists and is proposed to the rear shed (the exact distance is now provided, "approximately 2 feet" previously indicated).




Re: Boro File No. MSPB-R1690
Amend. Site Plan – Manasquan VFW
Block 43, Lot 4.01

November 4, 2021
Sheet 2

- c. One accessory building is permitted, whereas two accessory buildings exist and are proposed.
 - d. A maximum accessory building of 600 square feet permitted, whereas a building of 649 square feet exists and is proposed (600 square feet previously indicated).
3. The following non-conformities exist on Lot 4.01 and are not proposed to be modified as part of this application:
 - a. A minimum front yard setback of 25 feet is required, whereas a setback of 24.8 feet exists and is proposed.
 4. The applicant should explain the use of the outdoor bar area, including hours of operation, dates of use of the seasonal canopy, and outdoor music or PA systems.
 5. There is a sizeable seating area under the canopy area which should be explained to the Board. The seating capacity should also be discussed as relates to parking requirements and the existing number of spaces on site.
 6. Any outdoor lighting for the bar area should be shown and lighting levels indicated.
 7. Any additional proposed signage should be shown on the plans.
 8. A drainage recharge system in accordance with the Borough’s stormwater ordinance is not required as the proposed improvements do not increase the building footprint or impervious coverage by more than 500 square feet. The previously required drainage recharge system appears to have been installed in general conformance with the previous Board approval however the pop up emitter could not be located and should either be installed or uncovered so the system may work properly.
 9. Grades have not been shown to demonstrate handicap accessibility however if no grading changes are proposed the existing grades appear sufficient to meet code requirements.
 10. If the application is approved, the plans should be modified to only show the proposed improvements as part of this application. Previously approved improvements which are not to be constructed should be removed from the plan.
 11. No trees are to be removed as part of the application.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



 ALBERT D. YODAKIS, P.E., P.P.
 PLANNING BOARD ENGINEER
 BOROUGH OF MANASQUAN



Re: Boro File No. MSPB-R1690
Amend. Site Plan – Manasquan VFW
Block 43, Lot 4.01

November 4, 2021
Sheet 3

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Michael Henderson, esq.
C. Keith Henderson & Associates, 52 Abe Voorhees Drive, Manasquan, NJ 08736
Ray Carpenter, PE, PP
R.C. Associates, 2517 Route 35, Bldg J, Suite 102, Manasquan, NJ 08736
Manasquan VFW Lodge 1838
30 Ridge Avenue, Manasquan, NJ 08736

Talking points Informal Hearing – August 2nd Planning Board Meeting

History/Facts

- Property being discussed – 14 Meadow Avenue; Lot 154, Block 7
- Property been in the family since 1958
- Current Structure built in 2007 – conformed to all height and set back restrictions
- Superstorm Sandy in 2012 destroyed entire first floor
- Property now in a Flood Zone – paying high Flood insurance Premiums
- Elevation Certificate indicates my first floor is 4 feet below the base flood elevation for my area
- Meadow and Pearce Court – streets in front and back of my property regularly flood during high tide and full moon and reach moderate and major flood stages during Nor'easter storms
- Currently retired and considering moving to Manasquan full time BUT want to alleviate our concerns and fears with respect to the flooding.

Request - Seeking a variance to raise my house 6 feet

This will allow for the following:

- Put a garage under the house thus protecting our cars from street flooding
- Put out first floor above the base flood elevation
- Hopefully give us some relief with Insurance Premiums
- Reduce some of our fears regarding flooding in our area
- Help alleviate some of the street parking issues

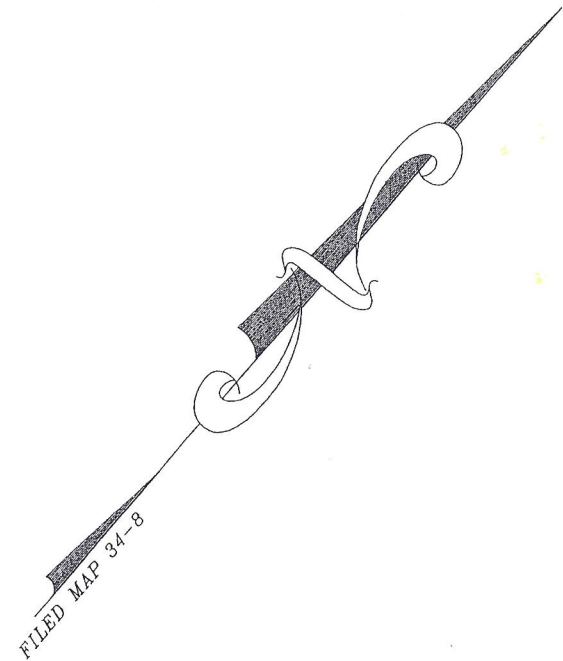
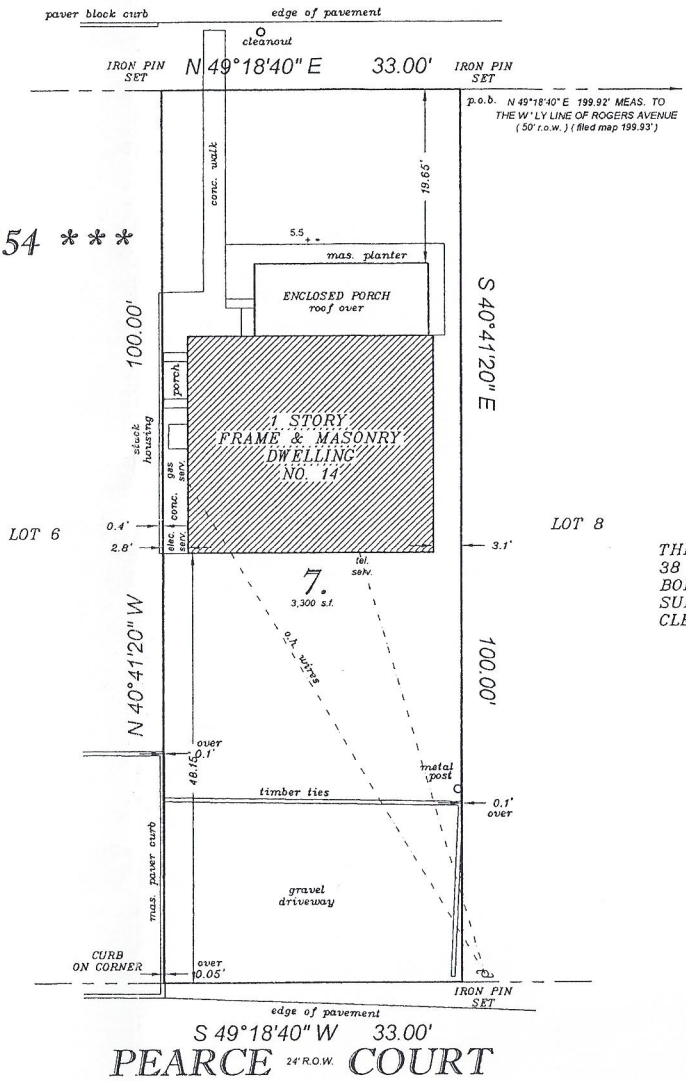
Change to the House:

- Garage will go under the current back porch facing Pearce Court
- Porch will come out to allow for the stairs to be rerouted down the back of the house to a small platform and then forward toward Pearce.
- Front steps on Meadow will just be higher and come out further down our walkway.

Diane & Raymond Imbrogno

MEADOW 50' R.O.W. AVENUE

*** BLOCK 154 ***



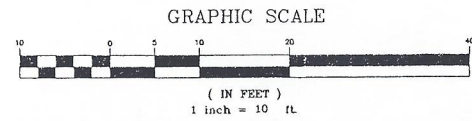
THE LOT AND PREMISES SURVEYED AND SHOWN HEREON IS KNOWN AND DESIGNATED AS LOT 7 BLOCK 38 AS SHOWN ON A CERTAIN MAP ENTITLED "REVISED MAP SECTION No. 3 MANASQUAN SHORES BOROUGH OF MANASQUAN MONMOUTH COUNTY, N.J." MADE BY WILLIAM S. "LOGAN JR. ENGINEER AND SURVEYOR MANASQUAN N.J. DATED JANUARY 27, 1941 AND FILED IN THE OFFICE OF THE COUNTY CLERK ON FEBRUARY 25, 1941 IN CASE 34 SHEET 8.

THE PREMISES SHOWN HEREON IS LOCATED IN FEMA SPECIAL FLOOD HAZARD ZONE AS BFE=9(N.C.V.D.1929) AS PER FIRM 345303 0001 C MANASQUAN BOROUGH, N.J. DATED 12/15/83.

THE ELEVATIONS SHOWN HEREON ARE REFERENCED TO N.C.V.D. 1929.

PREMISES SURVEYED SUBJECT TO EASEMENTS OF RECORD IDENTIFIED BY A TITLE SEARCH AND NOT SHOWN HEREON.

PEARCE 24' R.O.W. COURT



ANY OBJECT BENEATH AND NOT VISIBLE ON THE SURFACE OF THE EARTH OF THE LOT AND PREMISES SURVEYED AND SHOWN HEREON HAS NOT BEEN LOCATED.

SURVEY OF LANDS FOR	
RAYMOND & DIANE IMBROGNO	
SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY KNOWN AND DESIGNATED AS LOT 7 BLOCK 154 AS SHOWN ON THE TAX MAP OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY	
	Date: 6-16-06
	Scale: 1" = 10'
	File: 570606154-7
NEW JERSEY PROFESSIONAL LAND SURVEYOR LICENSE No. 35855	
Drawing: C87657	

U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

OMB No. 1660-0008
Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Diane & Raymond Imbrogno				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 14 Meadow Avenue				Company NAIC Number:	
City Manasquan		State New Jersey		ZIP Code 08736	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Block 154 Lot 7					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>					
A5. Latitude/Longitude: Lat. <u>40°06'53.5"</u> Long. <u>74°02'12.2"</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>9</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>997.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>6</u>					
c) Total net area of flood openings in A8.b <u>1200.00</u> sq in					
d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>N/A</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A9.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number Borough of Manasquan - 345303			B2. County Name Monmouth County		B3. State New Jersey
B4. Map/Panel Number 34025C0456	B5. Suffix F	B6. FIRM Index Date 09-25-2009	B7. FIRM Panel Effective/Revised Date 09-25-2009	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 8'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 14 Meadow Avenue			Policy Number:
City Manasquan	State New Jersey	ZIP Code 08736	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: 3.18' (Leica SmarNet) Vertical Datum: NAVD88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 4.13 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | 8.03 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | 6.98 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | 4.46 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | 4.54 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | 4.23 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name Marc J. Cifone	License Number 24GS04132900	Place Seal Here	
Title President			
Company Name Lakeland Surveying, Inc.			
Address 117 Hibernia Avenue			
City Rockaway	State New Jersey		ZIP Code 07866
Signature 	Date 10-09-2018	Telephone (973) 625-5670	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

Monmouth County, NJ - Preliminary FIRM Map No. 34025C0456G dated January 31, 2014 - Zone AE / BFE 10' (NAVD88)
C2. e) AC Unit

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 14 Meadow Avenue			Policy Number:
City Manasquan	State New Jersey	ZIP Code 08736	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name _____

Address _____	City _____	State _____	ZIP Code _____
Signature _____	Date _____	Telephone _____	

Comments _____

Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 14 Meadow Avenue			Policy Number:
City Manasquan	State New Jersey	ZIP Code 08736	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____
- G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name	Title
-----------------------	-------

Community Name	Telephone
----------------	-----------

Signature	Date
-----------	------

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

BUILDING PHOTOGRAPHS

ELEVATION CERTIFICATE

See Instructions for Item A6.

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 14 Meadow Avenue			Policy Number:
City Manasquan	State New Jersey	ZIP Code 08736	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption FRONT LEFT - October 7, 018

Clear Photo One



Photo Two

Photo Two Caption REAR LEFT - October 7, 018

Clear Photo Two

BUILDING PHOTOGRAPHS

ELEVATION CERTIFICATE

Continuation Page

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 14 Meadow Avenue			Policy Number:
City Manasquan	State New Jersey	ZIP Code 08736	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo Three

Photo Three Caption FRONT RIGHT - October 7, 018

Clear Photo Three



Photo Four

Photo Four Caption REAR RIGHT - October 7, 018

Clear Photo Four

May 25, 2020

Manasquan Planning Board

To whom it may concern:

We (Raymond Imbrogno & Diane Imbrogno) hereby request an informal hearing with the Planning Board to discuss the seeking of a variance for the raising of our house at 14 Meadow Avenue (Lot 154 Block 7) at your earliest convenience.

The current structure was built in 2007 and at that time conformed to all of the guidelines with respect to set backs and height restrictions. During Superstorm Sandy in 2012, we lost the entire first floor and since Sandy have paid a lot of money in Homeowners and Flood Insurance because we are now in a Flood Zone.

The property has been in our family since 1958 and we are contemplating moving to Manasquan full time but would only do so if we can alleviate our concerns/fears regarding flooding in our area. The raising of our house 6 feet will allow us to put a garage under the house thus protecting our vehicles from the street flooding that seems to happen with every high tide and full moon on both Meadow Avenue and Pearce Court. In addition, it will put our first floor above the base flood elevation, alleviate our concerns and fears with flooding and hopefully give us some relief with our insurance premiums. Our first floor is currently only 4 feet above the Base Flood Elevation.

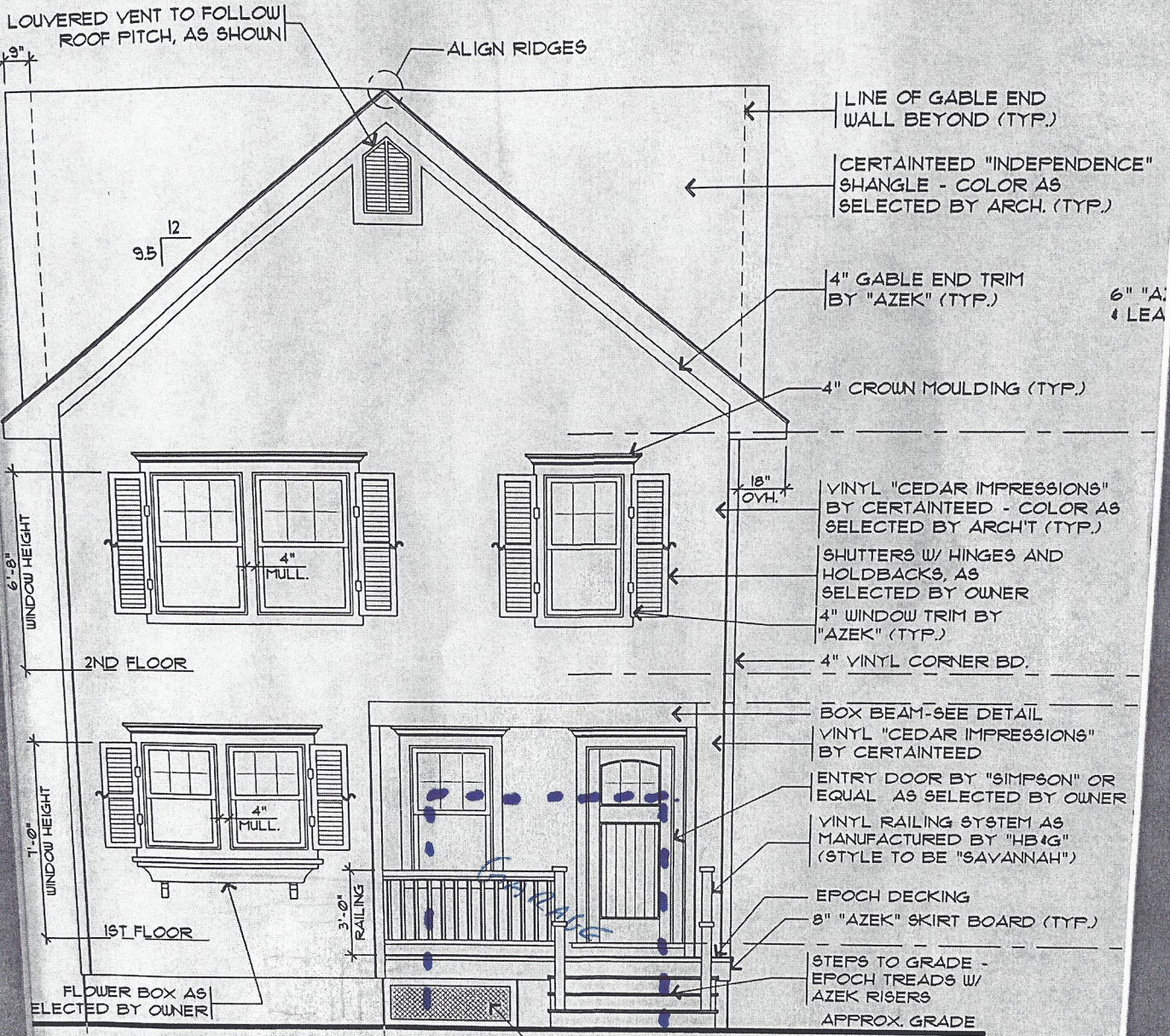
We would like to review our situation with the Board at an informal hearing in the hopes of seeking a variance to raise our house the desired amount.

Regards,

Diane & Raymond Imbrogno

Cell: 908-229-3824

Email: raydiimb@optonline.net

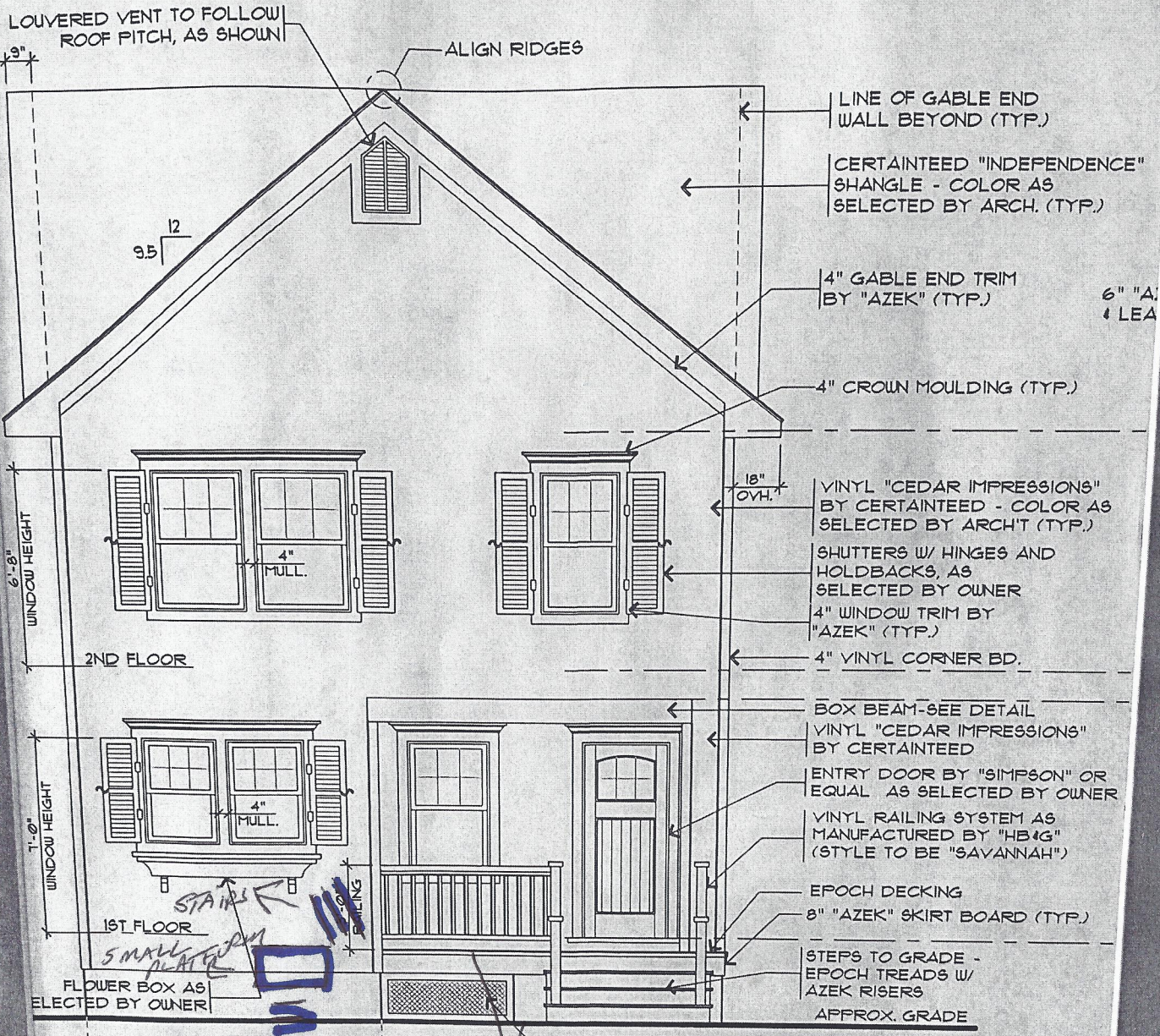


*. RAISE HOUSE 6 FT
 . PUT IN GARAGE + STORAGE UNDER HOUSE*

REAR (PEARCE COURT) ELEVATION

SCALE: 1/4" = 1'-0"

EXHIBIT A



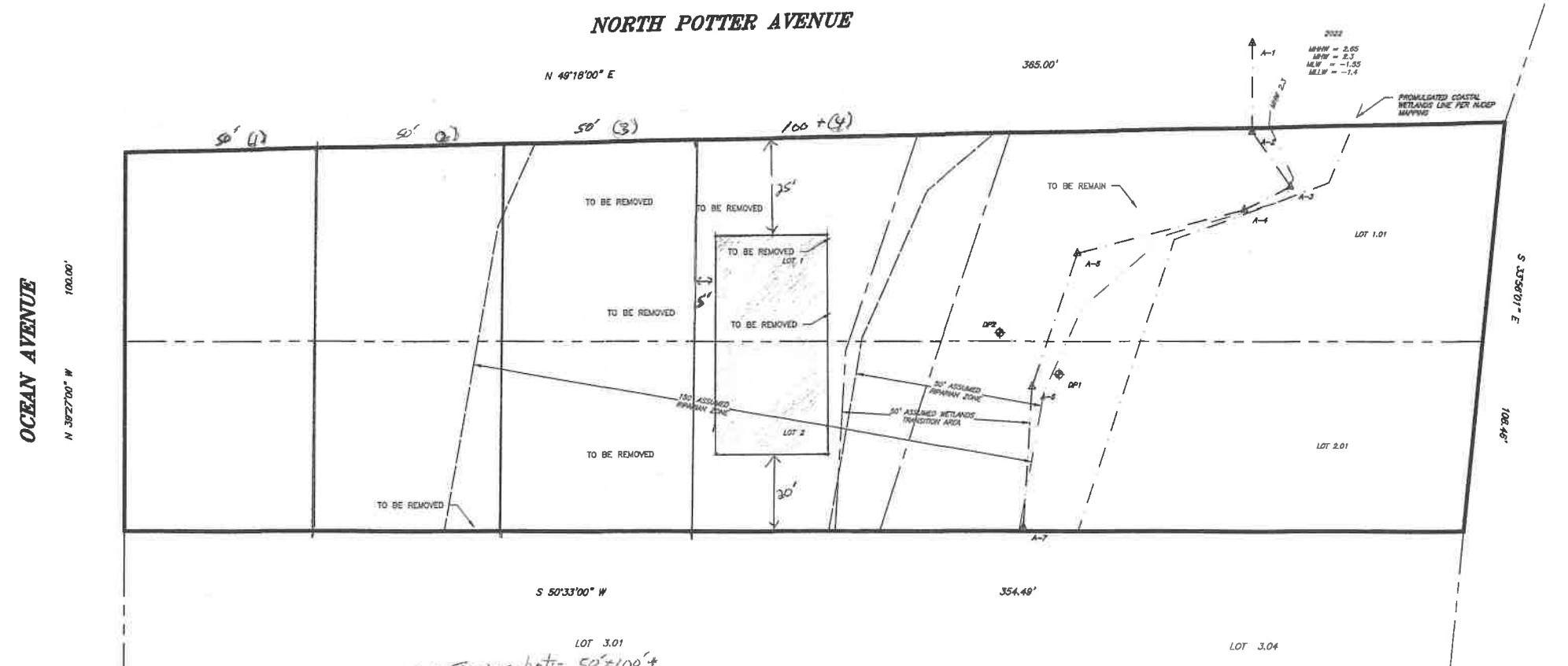
STAIRS TO HALLS

MOVE PORCH OUT TO ACCOMMODATE SIDE STAIRS

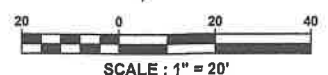
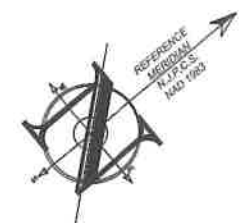
REAR (PEARCE COURT) ELEVATION

SCALE: 1/4" = 1'-0"

EXHIBIT B



LOT 3.01
4 conforming lots - 50' x 100' +
Each lot minimum 5000 sq ft
2.5 story houses
Bldg Envelopes 30' x 50' = 1500 sq ft = 30%
*Note lot #4 - 33' x 60' = 1980 sq ft ±
No Variances Required



LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION +48.80
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE

INSITE ENG
SINC

CALL BE
NJ ONE CAL
732-331-7100

REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW JERSEY
EXPIRES 12/31/2024

INSITE ENG
CERTIFICATE OF AUTHORITY
1955 ROUTE 34, SUITE 100
732-331-7100 (PH)
insite@insiteeng.com

LICENSED IN NEW JERSEY
DELAWARE, CONNECTICUT,
COLORADO, & OHIO

CAUTION: IF THIS DOCUMENT IS
REPRODUCED WITHOUT THE
WRITTEN PERMISSION OF THE
ENGINEER, THE USER MAY BE
IN VIOLATION OF THE PROVISIONS
OF THE PROFESSIONAL ENGINEERING
ACT.

PRELIMINARY

REVISED

DATE: 06/03/22
JOB #: 22-434-15
CAD ID: 22-434-15/0

NOT FOR CONSTRUCTION

FOR CONSTRUCTION
PLAN INFO

DRAWING TITLE:
PRELIMINARY
EXISTING CONSTRUCTION
DEMOLITION

29

041 - Paul Morris Construction, LLC - 88 Potter Avenue, Monmouth, NJ 08852
 042 - Paul Morris Construction, LLC - 88 Potter Avenue, Monmouth, NJ 08852
 043 - Paul Morris Construction, LLC - 88 Potter Avenue, Monmouth, NJ 08852
 044 - Paul Morris Construction, LLC - 88 Potter Avenue, Monmouth, NJ 08852
 045 - Paul Morris Construction, LLC - 88 Potter Avenue, Monmouth, NJ 08852
 046 - Paul Morris Construction, LLC - 88 Potter Avenue, Monmouth, NJ 08852
 047 - Paul Morris Construction, LLC - 88 Potter Avenue, Monmouth, NJ 08852
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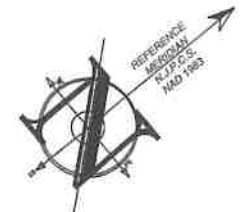
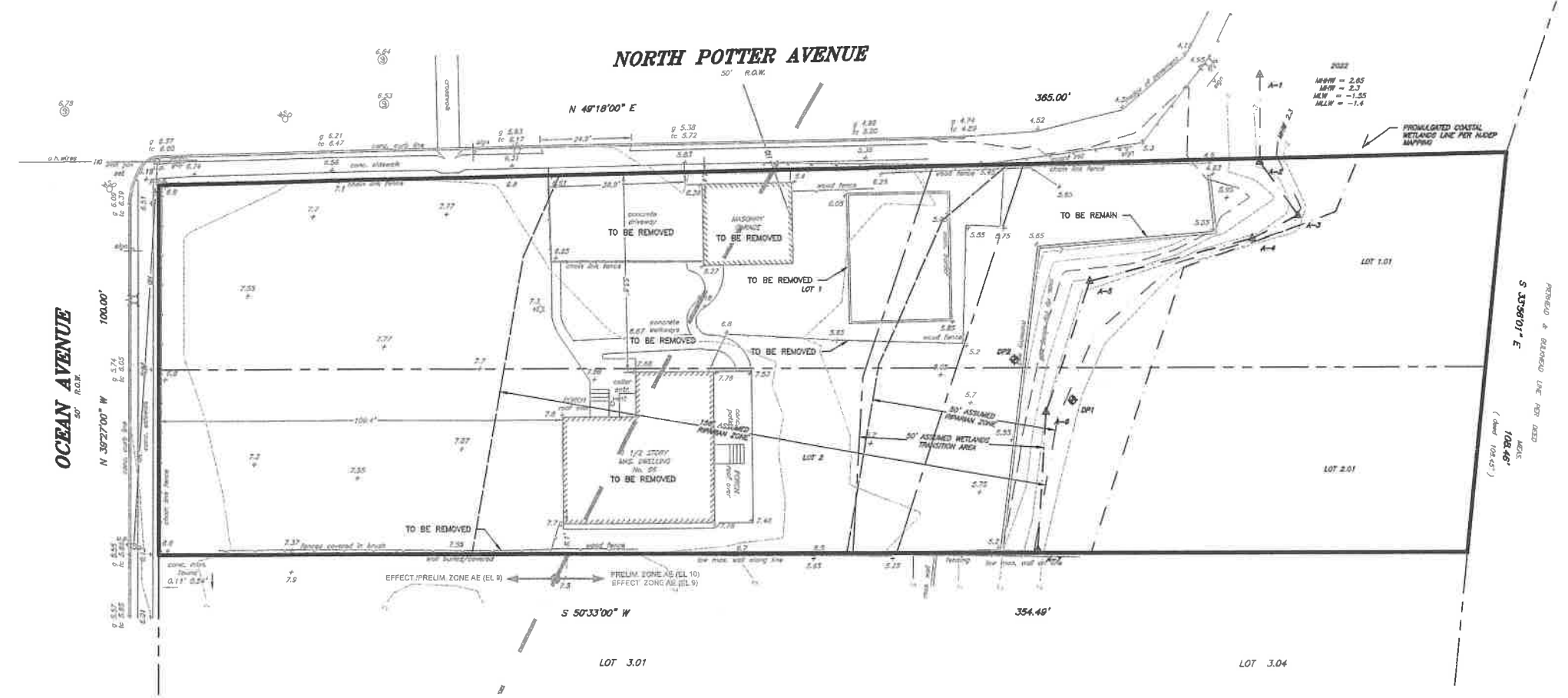
PROJECT LOCATION:
BLOCK 1
88 PO
BOROUGH
MONMOUTH

OWNER/APPLICANT:
NORTH POT
207 LUD
SPRING I

APPLICANT'S

ATTORNEY:
JEFFERY P. BEERM
47 MAIN AVENUE, P.
OCEAN GROVE, NJ

SURVEYOR:
PAUL K. LYNCH
P.O. BOX 1456
WALL, NJ 07719

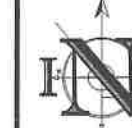


SCALE: 1" = 20'

EXISTING	BOUNDARY LINE	PROPOSED
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	CONTOUR LINE	
	SPOT ELEVATION	
	BUILDING	
	WALL	
	GAS	
	WATER	
	INLET	
	STORM	
	SANITARY MAIN	
	SANITARY LATERAL	
	OVERHEAD WIRE	
	ELECTRIC	
	TELEPHONE	
	UTILITY POLE	
	HYDRANT	
	SIGN POST	
	FENCE	



CALL BE
NJ ONE CA
ELECTRIC
GAS LINE
COMMERCIAL TRUCK
WATER
SEWER
LAND SURVEYING
PROFESSIONAL SURVEYOR



InSite En
CERTIFICATE OF AUTHORITY
1655 ROUTE 34, SU
732-531-7100 (P)
inSite@inSiteEng

LICENSED IN NEW JERSEY
DELAWARE, COLORADO
CALIFORNIA, I.D.

CAUTION: IF THIS DOCUMENT IS
AND RAISED SEAL OF THE FIRM
AND MAY HAVE

PREL

REV

NO.	DATE	REVISION

DATE: 06/03/22

JOB #: 22-434-15

DWG ID: 22-434-15-0

NOT FOR CONSTRUCTION

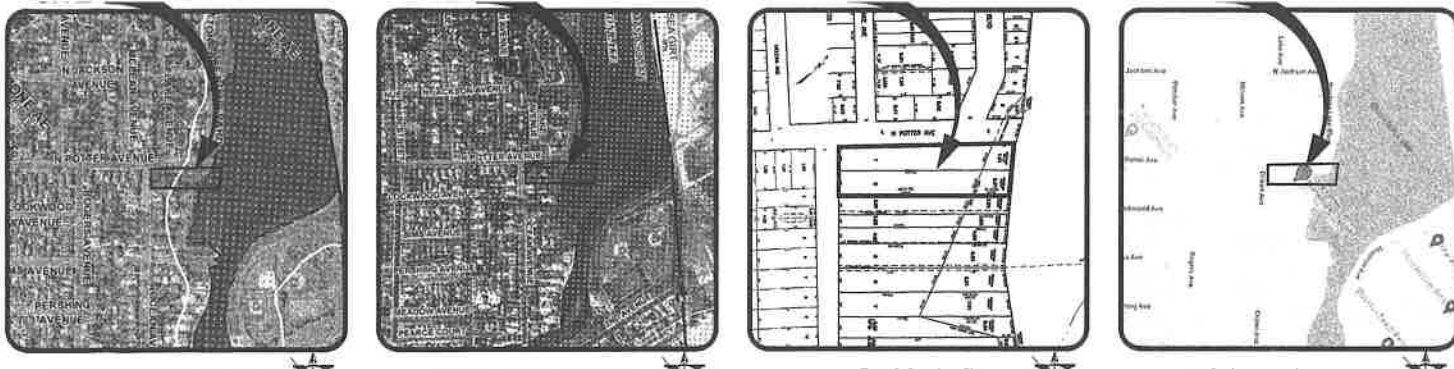
FOR CONSTRUCTION
PLAN IN

DRAWING TITLE:

PRELIMINARY

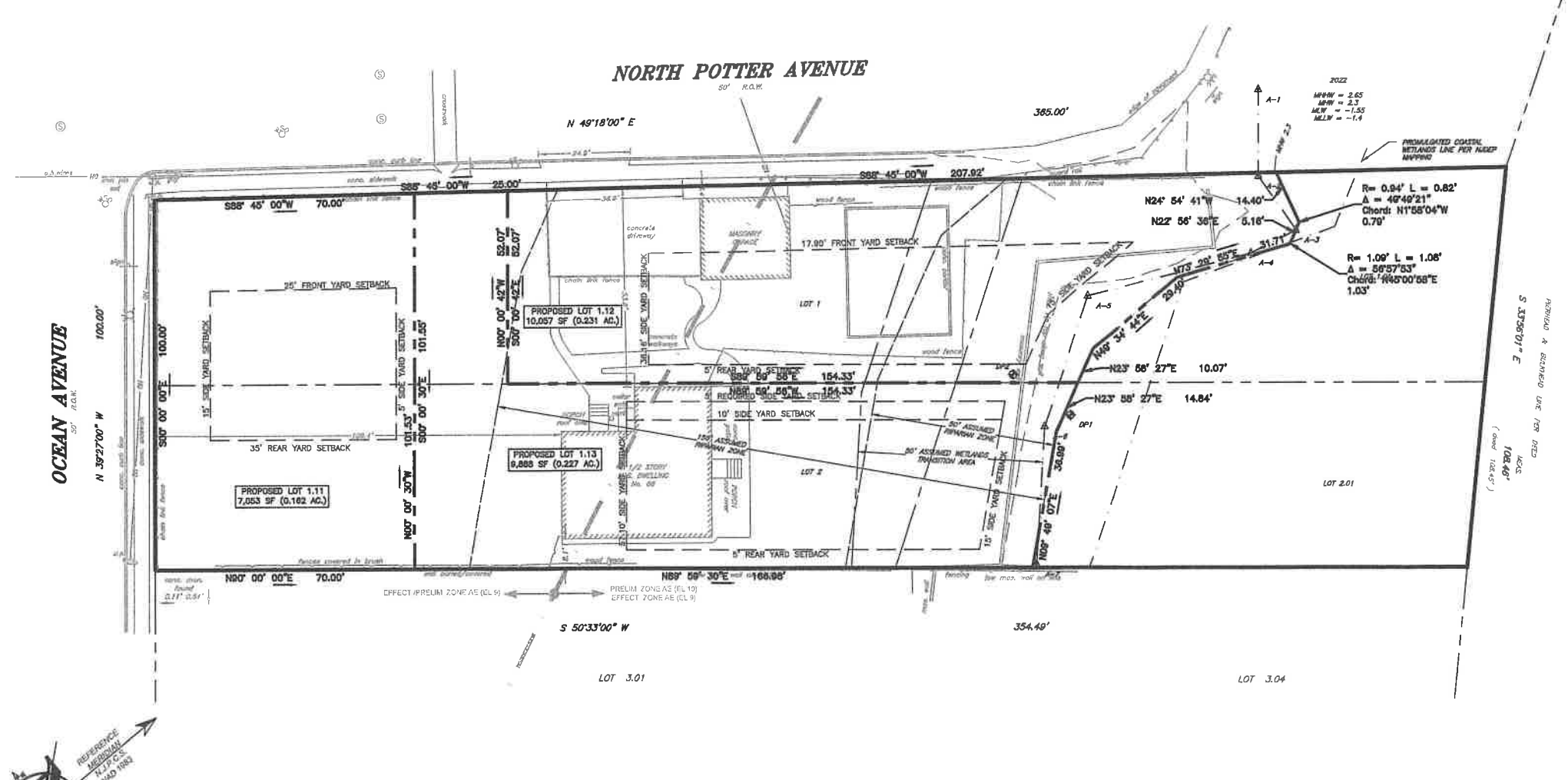
EXISTING DEMOLITION

Item 12.

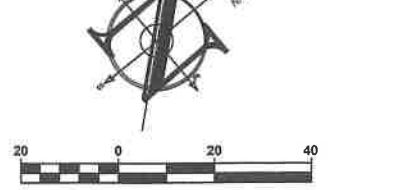


Subdivision information including Block 68 PC, Borough of Manasquan, and Applicant F.A. Morris Construction, Inc.

Scale: 1"=500', Scale: 1"=600', Scale: 1"=200', Scale: 1"=500'



- GENERAL NOTES: 1. SUBJECT PROPERTY, 2. OWNER (APPLICANT), 3. PURPOSE OF THIS PLAN SET, 4. SURVEY DATA, 5. PROPOSED LOT NUMBERS, 6. FRESHWATER/COASTAL WETLANDS AND STREAMS, 7. BASE FLOOD ELEVATION, 8. NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP), 9. SUBDIVISION FILING, 10. BEARING AND DISTANCE, 11. RESIDENTIAL SITE IMPROVEMENT STANDARDS (RSIS), 12. COORDINATES, 13. INDIVIDUAL LOT DEVELOPMENT PLANS



PROPERTY OWNERS WITHIN 200' (XX/XX/XX)

LEGEND table with columns for EXISTING and PROPOSED features, including Boundary Line, Contour Line, Spot Elevation, Building, Wall, Gas, Water, Inlet, Storm, Sanitary Main, Sanitary Lateral, Overhead Wire, Electric, Telephone, Utility Pole, Hydrant, Sign Post, and Fence.

ZONING COMPLIANCE CHART for ONE-FAMILY RESIDENTIAL (R-2) ZONE (S 35-5.3). Table with columns for Ord Section, Standard, and Complies for Proposed Lots 1.11, 1.12, 1.13, and 3.01-3.04.

PLANNING BOARD CLASSIFIED AND APPROVED AS A PRELIMINARY & FINAL MAJOR SUBDIVISION BY THE BOROUGH OF MANASQUAN PLANNING BOARD ON... BOARD CHAIRPERSON, BOARD SECRETARY, DATE.

MUNICIPAL ENGINEER HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW," RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS. MUNICIPAL ENGINEER (AFFIX SEAL), DATE.

APPLICANTS: F.A. MORRIS CONSTRUCTION, INC., 2185 ALLEN ROAD, WALL, NJ 07719

ATTORNEY: JEFFERY P. BELSKA, 47 MAIN AVENUE, F. OCEAN GROVE, NJ 07718

SURVEYOR: PAUL K. LYNCH, P.O. BOX 1459, WALL, NJ 07719

PAUL K. LYNCH PROFESSIONAL ENGINEER, N.J. LICENSE NO. 000000000



CALL ME AT 732-331-7100 (F) OR 732-331-7100 (F) IN SITE ENGINEERING

IN SITE ENGINEERING CERTIFICATE OF AUTHORITY, 1955 ROUTE 34, S. 732-331-7100 (F) IN SITE ENGINEERING

LICENSED IN NEW JERSEY, DELAWARE, CONNECTICUT, PENNSYLVANIA

CAUTION: IF THIS DOCUMENT AND RAISED SEAL OF THE PROFESSIONAL ENGINEER AND MAY BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

REVISIONS table with columns for No., Date, Description, and Initials.

NOT FOR CONSTRUCTION PLAN IN PRELIMINARY SUBDIVISION

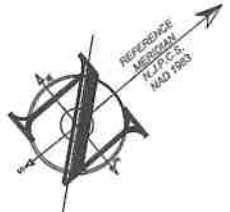
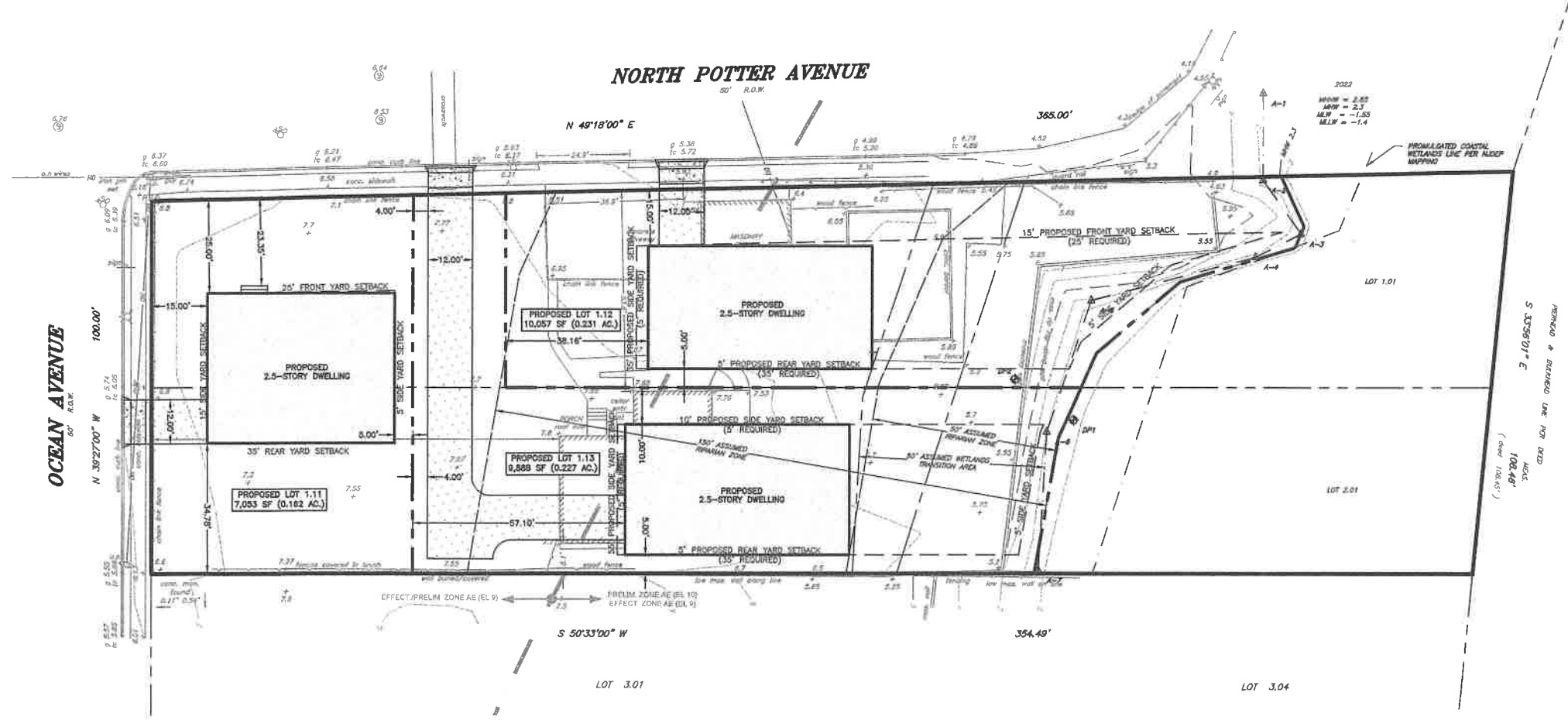
Item 12.

PROJECT LOCATION:
BLOCK 88 P1
BOROUGH
MONMOUTH

OWNER/APPLICANT:
NORTH POTTER
207 LINDEN
SPRING

APPLICANT'S ATTORNEY:
JEFFERY P. BEEBE
47 MAIN AVENUE
OCEAN GROVE, NJ

SURVEYOR:
PAUL K. LYNCH
P.O. BOX 1459
WALL, NJ 07719



LEGEND	
EXISTING	PROPOSED

INSITE ENGINEERING

CALL E
N ONE C

108.49' (containing 108.49')

INSITE ENGINEERING
CERTIFICATE OF AUTHORITY
1658 ROUTE 34, S
732-531-7100 (F)
insite@insiteeng.com

LICENSED IN NEW JERSEY
DELAWARE, CONNECTICUT,
COLORADO, & ILLINOIS

CAUTION: THIS DOCUMENT IS UNOFFICIAL AND MAY BE SUBJECT TO CHANGE WITHOUT NOTICE.

PRELIMINARY

REV

DATE: 08/03/22
JOB#: 22-434-15
SHEET: 22-434-15/0

NOT FOR CONSTRUCTION

FOR CONSTRUCTION
PLAN IN

PRELIMINARY
R S

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: Ken + Ellen LeBlanc
*Applicant's Address: 75 Taylor Ave, Manasquan, NJ 08736
*Telephone Number: Home: 732-528-8500 cell

*e-mail Address: _____

*Property Location: 117 First Ave, Manasquan

*Block: 168 Lot: 6

*Type of Application: _____

Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval

*Date of Zoning Officer's Denial Letter: 3/16/22
Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? yes

*Does the Applicant own any adjoining land? _____

*Are the property taxes paid to date? yes

*Have there been any previous applications to the Planning Board concerning this property? _____
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this property? Yes
(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

[Signature]
Signature of Applicant or Agent

4/26/22
Date

06/2021

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

March 16, 2022

Atlantic Modular Builders
75 Taylor Avenue
Manasquan, NJ 08736

Re: Block: 168 Lot: 6 Zone: R-5 Flood Zone: AE BFE: 9ft. DFE: 10ft.
LeBlanc – 117 First Avenue

Dear Sir or Madam:

On this date we reviewed your application for the following project.

Remove all of the existing buildings and structures on the property and construct a new two story single family dwelling.

Survey prepared by Jay Pierson on January 14, 2022. Plot plan prepared by Joseph Kociuba on February 25, 2022. Conceptual plans prepared by Atlantic Modular Builders on February 9, 2022.

Application denied for the following reason(s):

Section 35-9.4 - Lot Frontage – 40ft. Required
25ft. Existing

“ - Lot Area – 2,700s.f. Required
2,500s.f. Existing

“ - Side Setback(Left) – 5ft. Required
3.5ft. Proposed

“ - Side Setback (Right) – 5ft. Required
3.5ft. Proposed

“ - Building Coverage - 35% Permitted
37.4% Proposed

Section 35-11.8 – Prohibits locating any mechanical equipment (a/c & generator) in the required 5ft. side setback area.

Section 35-11.8 – Prohibits locating a ground level deck or patio in the required 5ft Side and rear setback areas.

Additional required documentation:

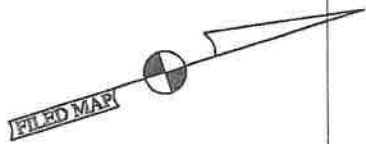
- Plot plan revised to show compliance with Section 28-1.3 (stormwater)

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer



2 SFD

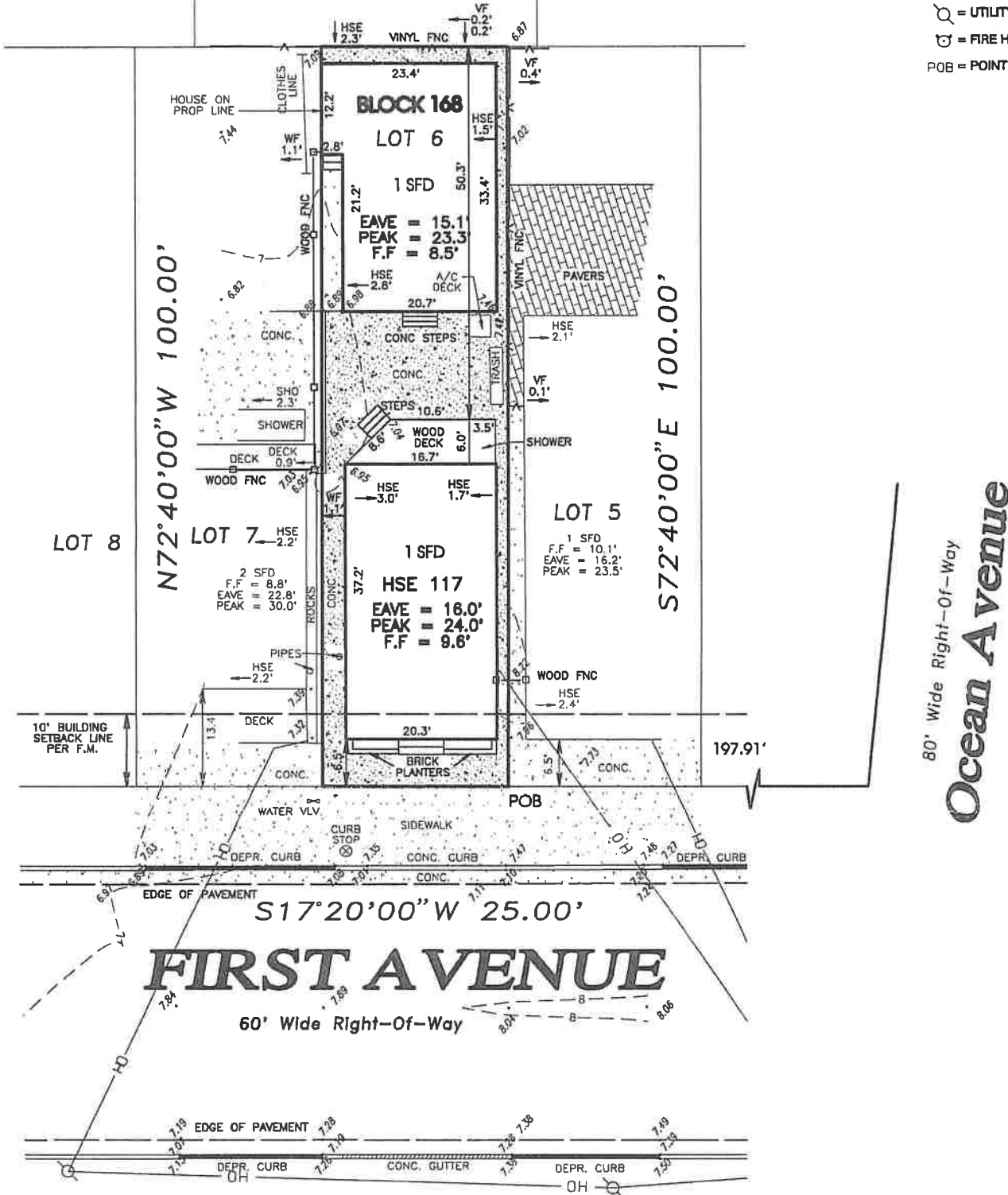
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LOT 22

LOT 23

LOT 24

- LEGEND**
- = MONUMENT FOUND
 - = MONUMENT SET
 - = CAPPED PIN FOUND
 - = CAPPED PIN SET
 - = IRON PIPE FOUND
 - * = STONE FOUND
 - ✕ = NAIL FOUND
 - ✕ = NAIL SET
 - OH— = OVERHEAD WIRES
 - = UTILITY POLE
 - ⊕ = FIRE HYDRANT
 - POB = POINT OF BEGINNING



PREPARED FOR:
TERRANCE HEGEL

DEED DESCRIPTION:

BEING KNOWN AND DESIGNATED AS LOT 6, BLOCK 168 AS SHOWN ON A CERTAIN MAP ENTITLED, "FINAL MAP OF BLOCK 168 LANDS OF AMERICAN TIMBER COMPANY." LOT 1, BLOCK 168, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY, WHICH MAP WAS FILED IN THE OFFICE OF THE CLERK OF MONMOUTH COUNTY ON NOVEMBER 5, 1990 AS FILED MAP NO. 283-33.

NOTES:

- 1.) OFFSETS TO DWELLINGS, SHEDS AND BUILDINGS ARE TO EDGE OF SIDING, BRICK OR STONE.
- 2.) OFFSETS TO FENCES ARE AS FOLLOWS:
CHAINLINK- CENTER OF END/CORNER POST
WROUGHT ALUMINUM- CENTER OF END/CORNER POST
POST AND RAIL FENCE- CENTER OF END/CORNER POST
PICKET FENCE- EDGE OF BOARD (FINISHED SIDE)
WOOD STOCKADE FENCE- EDGE OF BOARD (FINISHED SIDE)
VINYL STOCKADE FENCE- CENTER OF END/CORNER POST
- 3.) PROPERTY CORNERS TO BE SET.
- 4.) ROOF EAVES NOT LOCATED OR SHOWN

SURVEY MAP W/ TOPOGRAPHY
BLOCK 168 LOT 6
BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

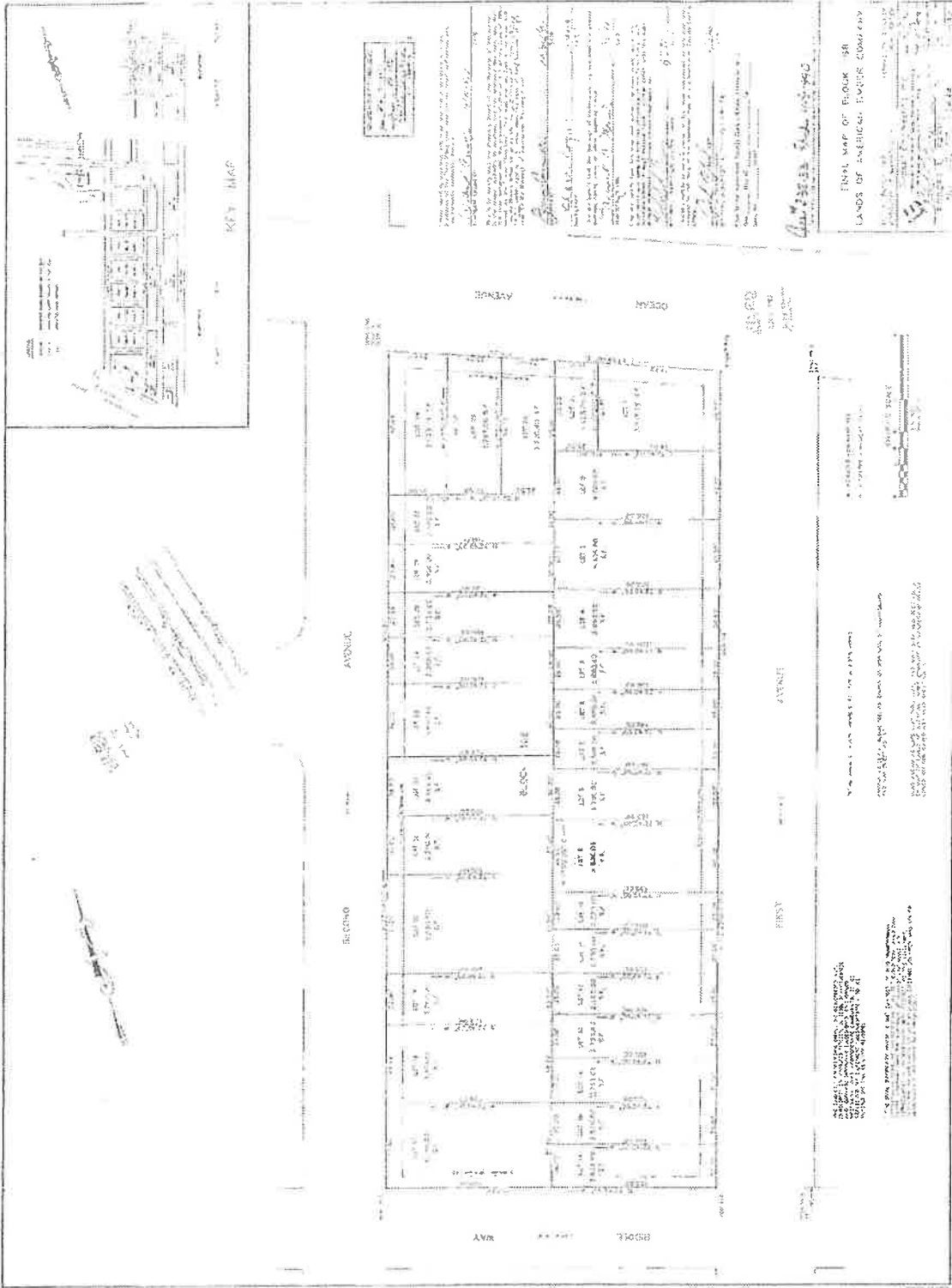
JOB No.: 2021-0586	TAX MAP SHEET No.: 27
DRAWN BY: DR	DEED BOOK / PAGE: 9397 / 4625
CHECKED BY: JFP2	UNITS: USFT
SCALE: 1" = 20'	VERTICAL DATUM: NAVD 1988
CONDITIONS AS OF: 01/14/2022	HORIZONTAL DATUM: FILED MAP

*NO ATTEMPT HAS BEEN MADE TO MAKE A TIDELANDS DETERMINATION ON THIS PROPERTY
 * NO ATTEMPT HAS BEEN MADE TO MAKE A WETLANDS DETERMINATION ON THIS PROPERTY
 *THIS SURVEY IS A REPRESENTATION OF CONDITIONS EXISTING ON THE PROPERTY OR IN DOCUMENTATION SUPPLIED AT TIME OF SURVEY EXCEPT SUCH EASEMENTS AND ENCROACHMENTS IF ANY THAT MAY BE LOCATED BELOW THE SURFACE OF THE LAND OR ON THE SURFACE OF THE LAND BUT NOT VISIBLE OR ANY OTHER PERTINENT FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
 *THIS SURVEY IS MADE ONLY TO NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OR TO DELINEATE PROPERTY FOR NAMED PARTIES.
 *NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING BUT NOT LIMITED TO USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY OR TO ANY OTHER PERSON NOT LISTED EITHER DIRECTLY OR INDIRECTLY.
 *UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS ILLEGAL AND PUNISHABLE BY LAW.

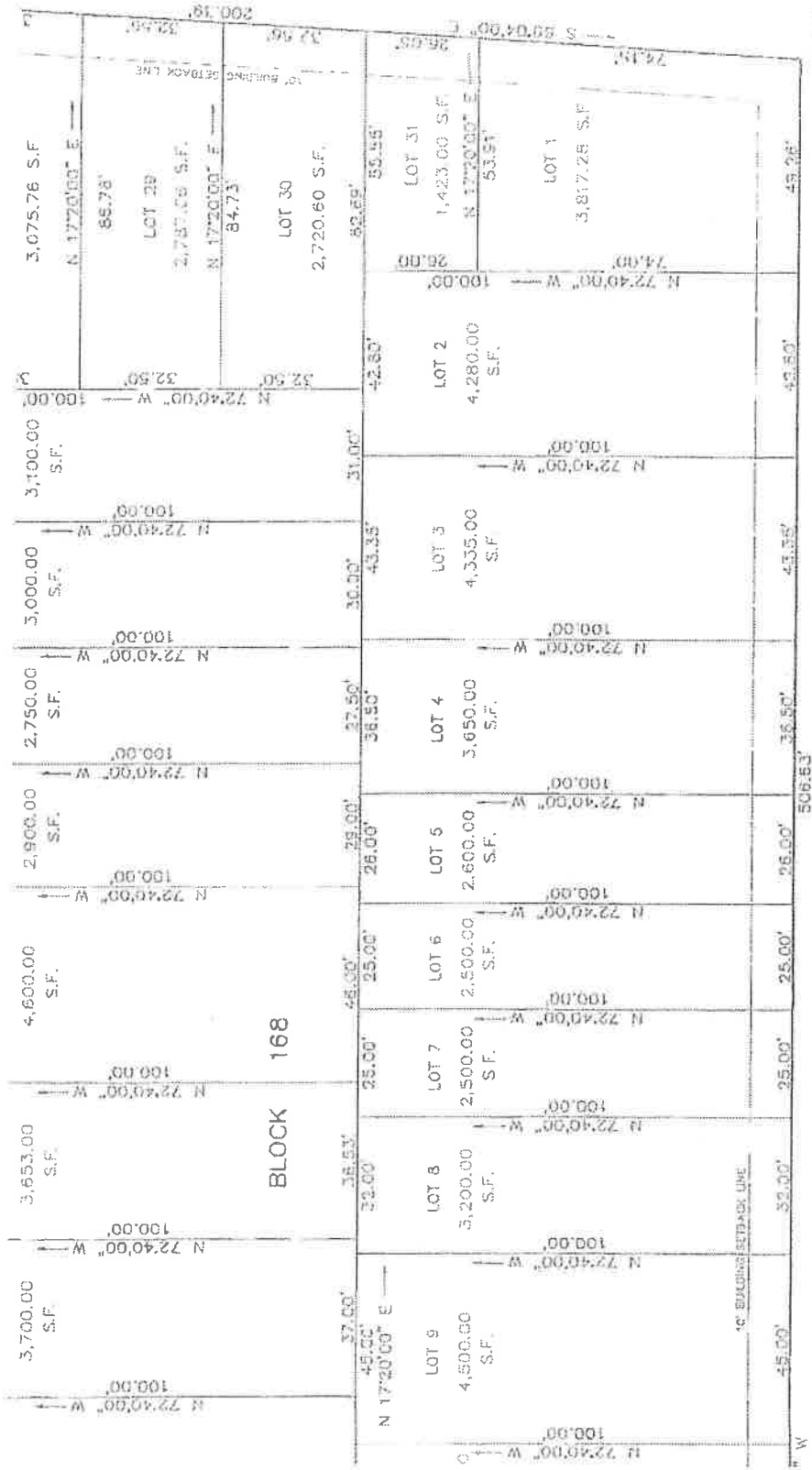
Jay F. Pierson
JAY F. PIERSON, P.L.S., P.P.
 NEW JERSEY PROFESSIONAL LAND SURVEYOR 27492
 NEW JERSEY PROFESSIONAL PLANNER 02525

JAY F. PIERSON, PLS, PP
 ROBERT J. HARRINGTON, PE
 JASON M. MARCIANO, PE, PP
 JOSEPH L. LAZOK, PLS

East Coast Engineering, Inc.
 ENGINEERING LAND SURVEYING PLANNING GPS
 (732) 244-3030 VOICE 508 MAIN STREET
 (808) 693-2600 VOICE TOMS RIVER, NJ 08753
 (732) 244-3044 FAX www.eceinc.net
 CERTIFICATE OF AUTHORIZATION No. 24GA27935600



2023



I hereby certify to be the Owner of the lands delineated on this map and consent to the filing of the approved map in the Monmouth County Clerk's Office.

Carl A. Yard III
 AMERICAN TIMBER COMPANY
 BY CARL A. YARD III, AUTHORIZED OFFICER

DATE: *8/16/90*

Filed in the Monmouth County Clerk's Office, Freehold, N. J.

This Day of _____ 19____

Case No. _____ Sheet _____

Case # 238-33 Filed 11-5-1990

REVISED AS PER BOROUGH OF MANASQUAN PLANNING BOARD RESOLUTION 8/7/87, E. 6.3

**FINAL MAP OF BLOCK 168
 LANDS OF AMERICAN TIMBER COMPANY**

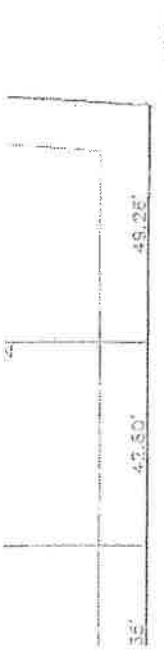
LOT 1, BLOCK 168 MONMOUTH COUNTY
 BOROUGH OF MANASQUAN NEW JERSEY

Robert L. Farry
 Birdsall Engineering, Inc.
 Professional Engineers, Land Surveyors, Planners
 1000 E. Main Street, Manasquan, N.J. 07719 (201) 961-1188
 DATE: *6/19/90*

ROBERT L. FARRY L. S.
 N.J. LIC. NO. 13444

13 of 14

238-33



FILED
 1990 NOV 5 11:53 AM
 CLERK OF COURTS
 FREEHOLD, N.J.

GRAPHIC SCALE

- INDICATES MONUMENT SET
- INDICATES MONUMENT FOUND



MAY 31 2022

DPW
PD
CONST
OTHER

May 27, 2022

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1880
Variance – LeBlanc
Block 168, Lot 6
117 First Avenue
R-5 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Survey Map prepared by Jay Pierson, PLS, PP, of East Coast Engineering, Inc., dated January 21, 2022.
2. Plot Plan prepared by Joseph Kociuba, PE, PP, of KBA Engineering Services, LLC, dated February 25, 2022.
3. Architectural Elevations and Floorplans, prepared by Atlantic Modular Builders, dated February 9, 2022.

The property is located in the R-5 Single-Family Residential Zone with frontage on First Avenue. With this application, the applicant proposes to remove the two existing dwellings and construct a new two story, raised dwelling on the existing lot, and associated site improvements. The application is deemed complete as of May 27, 2022.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-5 Single Family Residential Zone. The existing and proposed residential use is permitted.
2. The following bulk ('c') variances are required as part of this application:

Lot 6

- a. A maximum building coverage of 35% is permitted, whereas a building coverage of 37.4% is proposed (59.6% exists).

Re: Boro File No. MSPB-R1880
Variance – LeBlanc
Block 117, Lot 6

May 27, 2022
Sheet 2

Proposed Dwelling

- b. A minimum side yard setback of 5 feet is required, whereas a setback of 3.5 feet (north side) is proposed (1.5 feet exists).
- c. A minimum side yard setback of 5 feet is required, whereas a setback of 3.5 feet, (south side) is proposed (0 feet exists).
- d. A minimum side yard setback for mechanical equipment of 5 feet is required, whereas a setback of 3.5 feet is proposed. It should be noted that the mechanical equipment is located on a raised deck behind the building envelope.
- e. A minimum patio side yard setback of 5 feet is required, whereas a setback of 3.5 feet, is proposed (both sides).

→
Ex 1

3. The following non-conformities exist on Lot 6 and are not proposed to be modified as part of this application:

Lot 6

- a. A minimum lot frontage of 40 feet is required, whereas a lot frontage of 25 feet exists and is proposed.
 - b. A minimum lot area of 2,700 square feet is required, whereas a lot area of 2,500 square feet exists and is proposed.
4. The applicant proposes the first floor elevation of the dwelling at elevation 17.56 where the current base flood elevation is 9 feet. The proposed building height is 32.64 feet as measured from the top of curb.
 5. It appears that the minimum two conforming parking spaces are provided, one in the proposed garage and one in the driveway.
 6. A drainage recharge system in accordance with the Borough’s stormwater ordinance is proposed in the southerly side yard area.
 7. The required 80 square feet of enclosed storage space is proposed on the ground floor level.
 8. A landscaping plan for the front yard area must be provided. It does not appear that any trees will be removed as part of this application.
 9. Any new utilities should be located underground if possible. The existing water and sewer connections will be utilized for the proposed dwelling.



Re: Boro File No. MSPB-R1880
Variance – LeBlanc
Block 117, Lot 6

May 27, 2022
Sheet 3

10. Any curb and sidewalk must be replaced along First Avenue as necessary. The proposed driveway and public sidewalk must be graded to meet applicable ADA accessible cross slopes.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

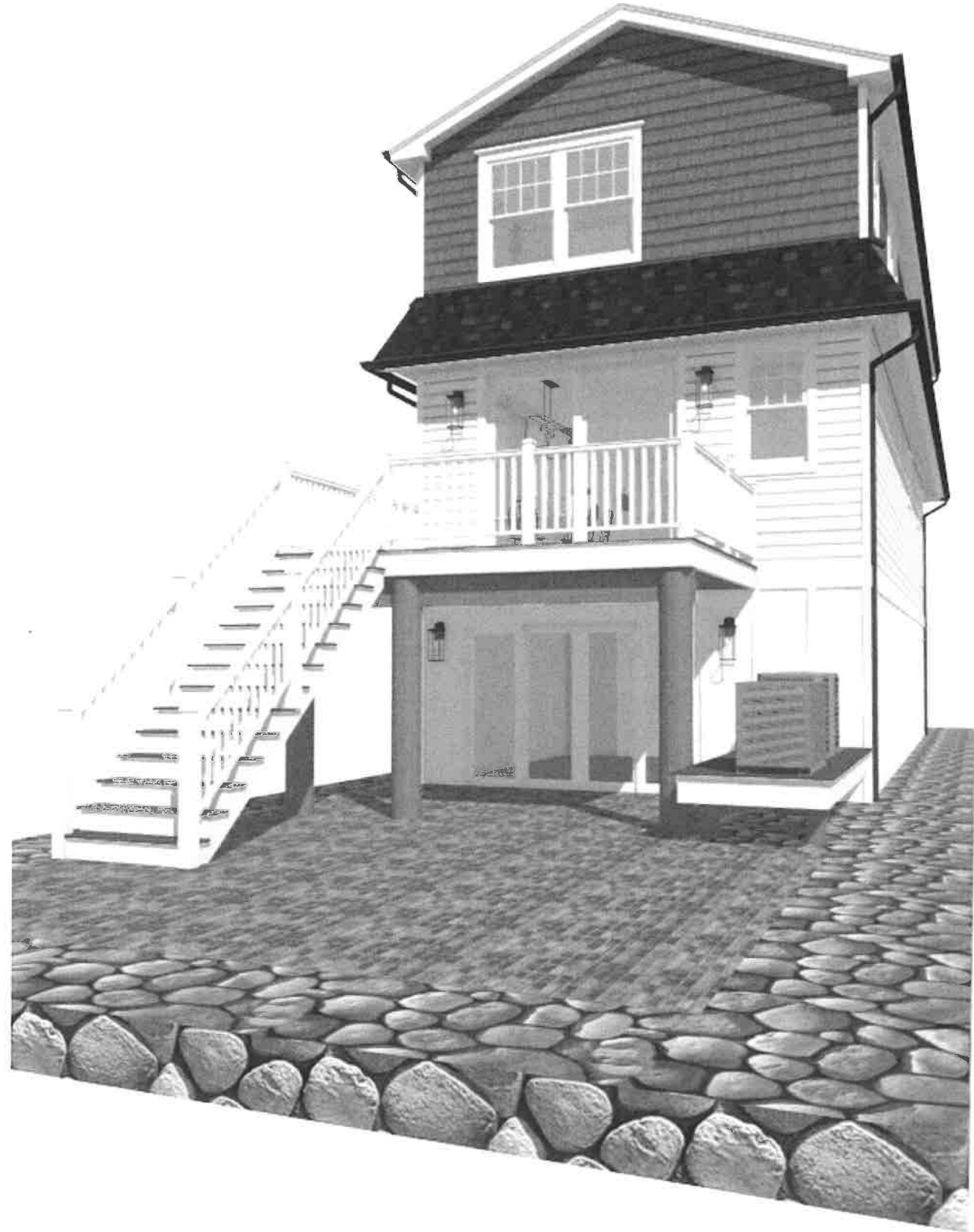
Very truly yours,

A handwritten signature in blue ink, appearing to read "Albert D. Yodakis", is written over a horizontal line.

ALBERT D. YODAKIS, P.E., P.P.
MANASQUAN PLANNING BOARD
ENGINEER

ADY:jj

cc: George McGill, esq., Planning Board Attorney
Joseph Kociuba, PE, PP
KBA Engineering Services, 2517 Route 35, Bldg E, Suite 203, Manasquan, NJ 08736
Atlantic Modular Builders
75 Taylor Avenue, Manasquan, NJ 08736



ATLANTIC MODULAR BUILDER
WWW.AMBMODULAR.COM

75 TAYLOR AVENUE, MANASQUAN, NJ 08736
PH: 732-528-8514

LEBLANC RESIDENCE

117 FIRST AVE, MANASQUAN, NJ
BLOCK: 168 / LOT: 6

PLANS ARE FOR CONCEPTUAL PURPOSES ONLY AND MAY DEPICT OPTIONAL FEATURES. ATLANTIC MODULAR BUILDERS RESERVES ITS COPYRIGHT AND PROPERTY RIGHTS IN THESE PLANS. THESE DOCUMENTS MAY NOT BE COPIED, CHANGED OR REPRODUCED IN ANY MANNER WITHOUT WRITTEN PERMISSION FROM ATLANTIC MODULAR BUILDERS.

DRAWN BY:
RSM

DATE:
2/9/2022

SHEET:

1

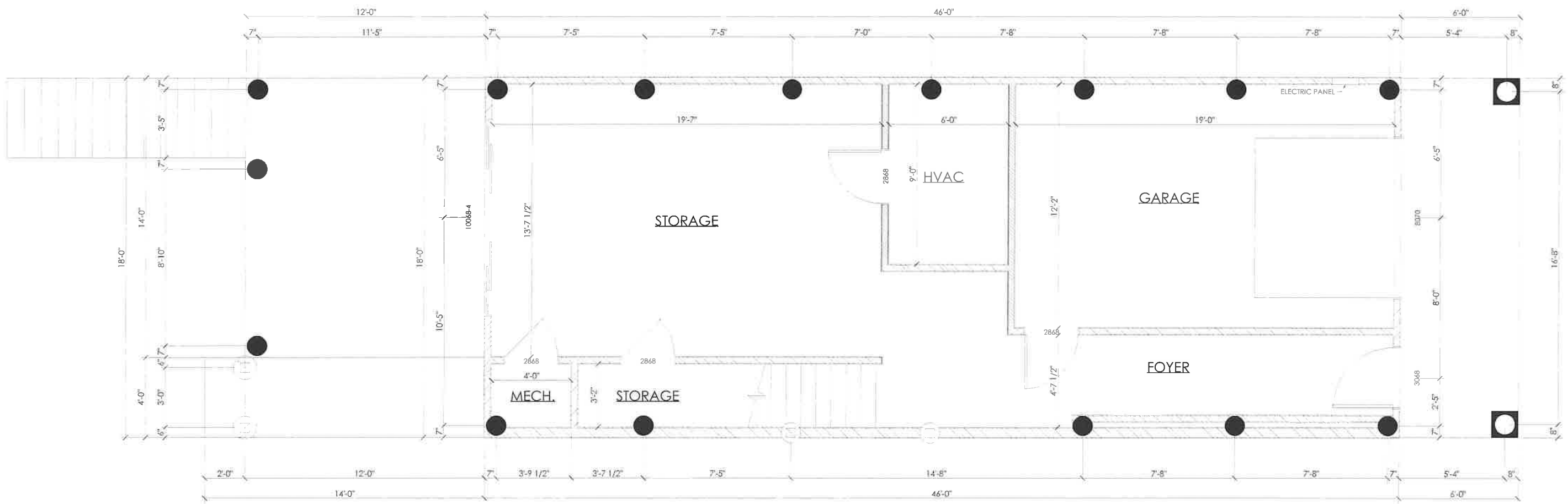
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RSM

DATE:
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SHEET:

2



FOUNDATION CONCEPT PLAN
SCALE: 3/16" = 1'-0"

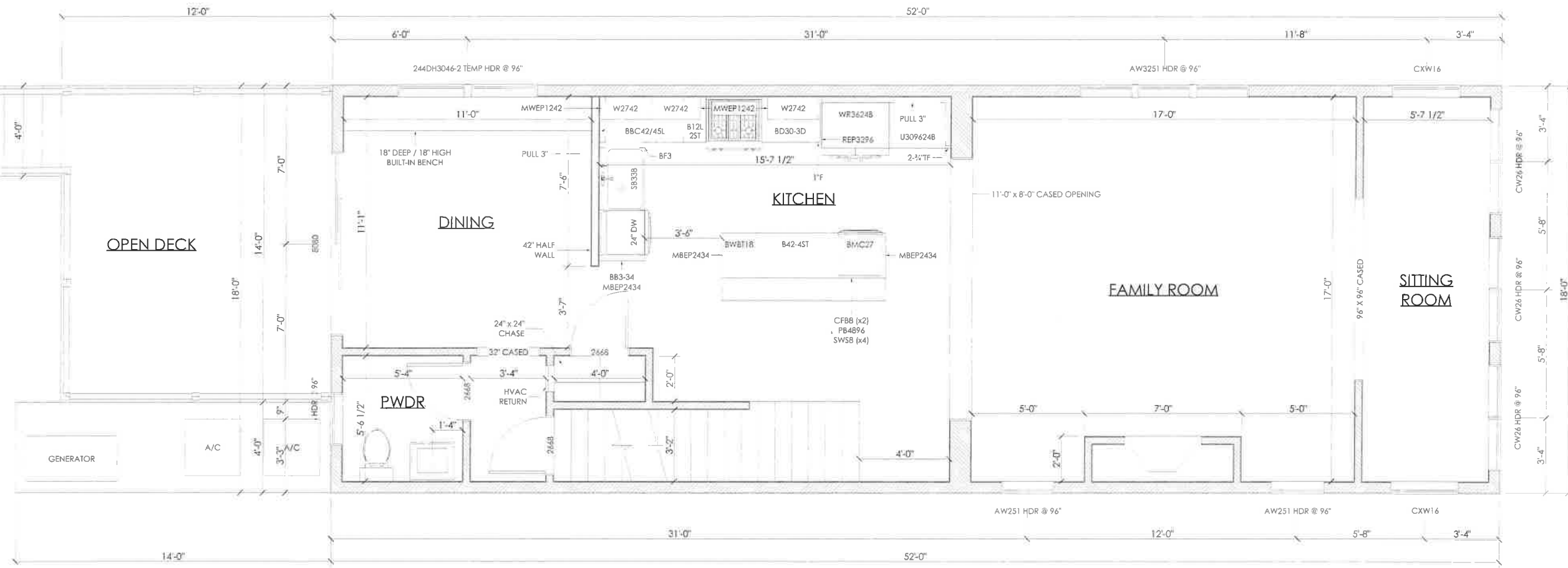
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FIRST FLOOR CONCEPT PLAN
SCALE: 3/16" = 1'-0"

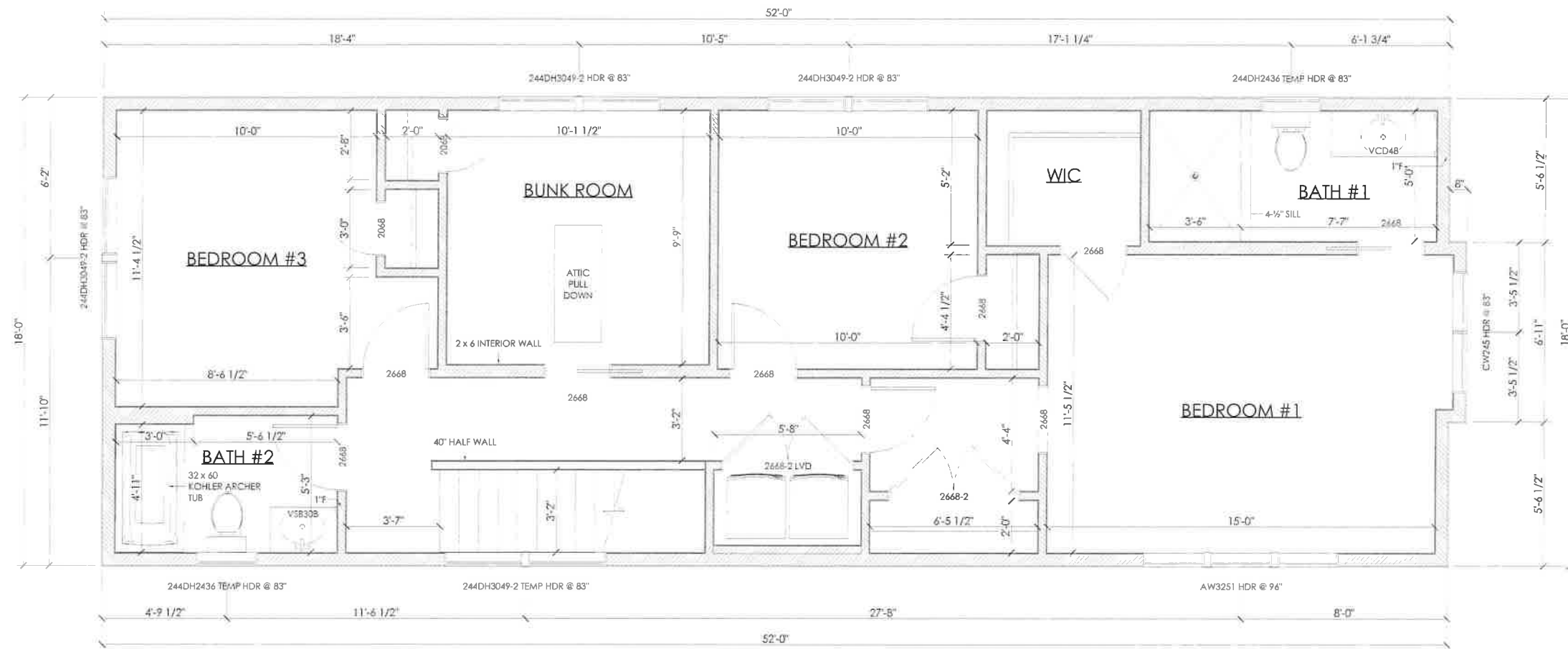
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SECOND FLOOR CONCEPT PLAN

SCALE: 3/16" = 1'-0"

ATLANTIC MODULAR BUILDER
 WWW.AMBMODULAR.COM

75 TAYLOR AVENUE, MANASQUAN, NJ 08736
 PH: 732.528.8514

LEBLANC RESIDENCE

117 FIRST AVE, MANASQUAN, NJ
 BLOCK: 168 / LOT: 6

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5

MAXIMUM RIDGE- EL: 40.41

MAXIMUM HEIGHT = 33'-0" / AVG CURB TO RIDGE

MAXIMUM HEIGHT = 32'-2" / SLAB TO RIDGE

DFE- EL: 10.0

BFE- EL: 9.0

SLAB- EL: 8.25

AVG CURB- EL: 7.41



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

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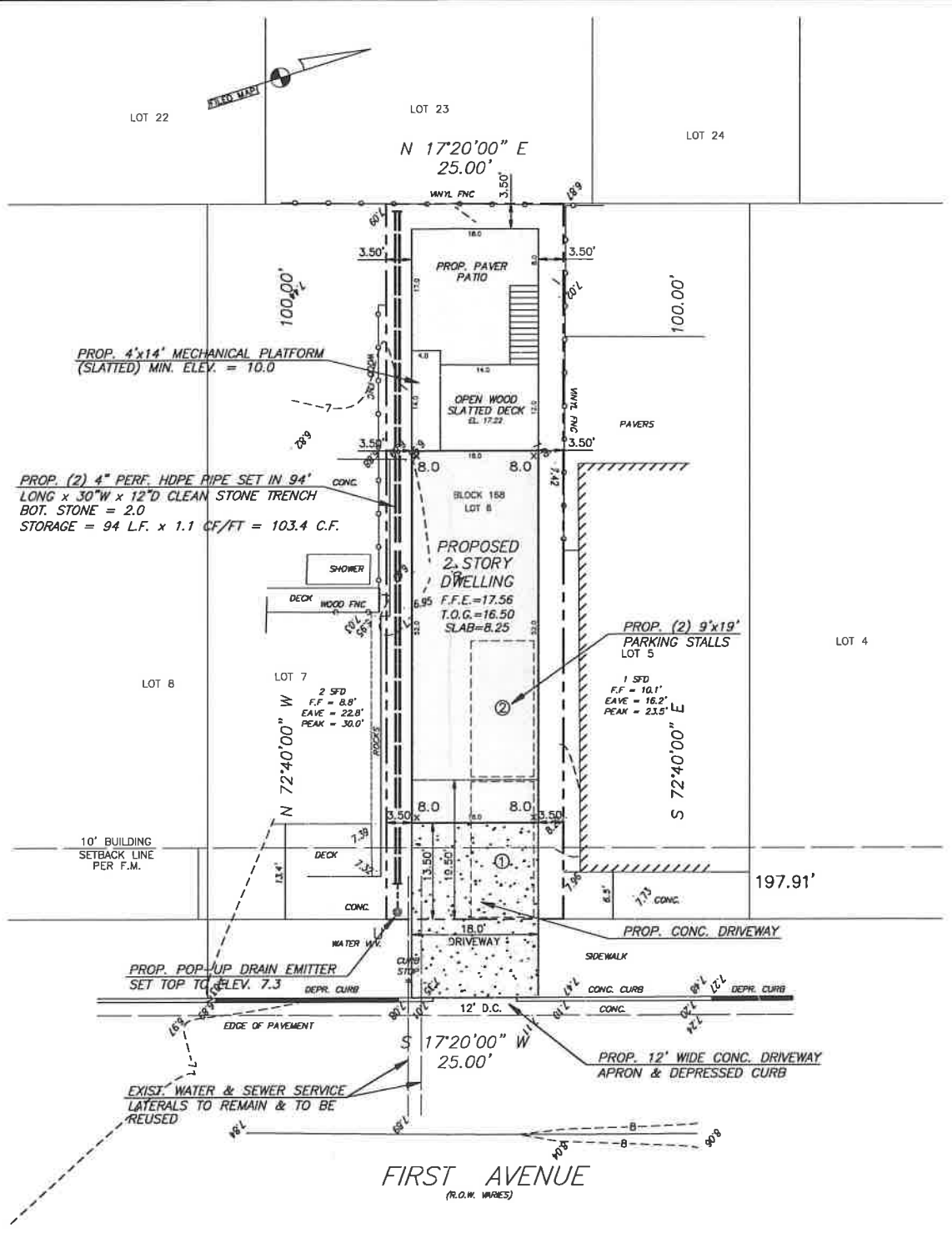
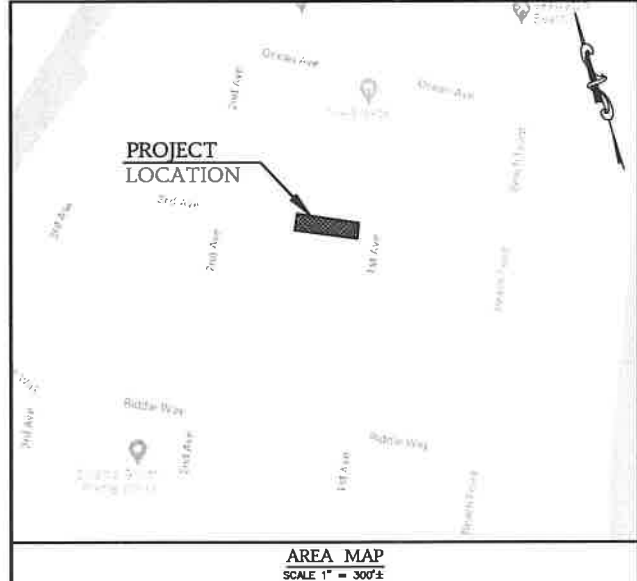
6



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



GENERAL NOTES

PROPERTY ID KNOWN AS BLOCK 168, LOT 6 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

PROPERTY IS LOCATED IN THE R-5 RESIDENTIAL ZONE AND CONTAINS A TOTAL OF 0.0573± ACRES (2,500 S.F.)

APPLICANT: KEN & ELLEN LEBLANC
75 TAYLOR AVENUE
MANASQUAN, N.J.

APPLICANT PROPOSES TO CONSTRUCT NEW 2 STORY DWELLING

DESCRIPTION	ZONE R-5	
	REQUIRED/PERMITTED	EXISTING
BUILDING USE	RESIDENTIAL	RESIDENTIAL
LOT AREA	2,700 S.F.	** 2,500 S.F.
MIN. LOT FRONTAGE	40 FT.	** 25.0 FT.
FRONT YARD SETBACK (FIRST AVE)	10 FT.	** 6.5 FT.
SIDE YARD SETBACK	5 FT.	** 0.0 & 1.5 FT.
REAR YARD SETBACK	20 FT.	2.3 FT.
PRINCIPAL BUILDING COVERAGE	35 %	** 59.60 % (1,490 SF)
MAX. TOTAL IMPERVIOUS	50 %	** 95.48 % (2,397 SF)
MAX. BLDG. HEIGHT	33 FT. (2.5 STY)	< 33 FT.
MIN. STORAGE	80 S.F.	> 80 S.F.
MIN. DECK	80 S.F. or 10% 1st. FLOOR	113 S.F.
MAX. CURB CUT WIDTH	12 FT.	N/A
MIN. MECH. PLATFORM SIDE SETBACK	5.0 FT.	2.3 FT.
MIN. PATIO SETBACK	5.0 FT.	0 FT.
		** 37.44 % (936 SF)
		47.16 % (1,179 SF)
		32.64 FT.
		> 80 S.F.
		168 S.F.
		12 FT.
		* 3.5 FT.
		* 3.5 FT.

* - INDICATES VARIANCE REQUIRED
** - INDICATES EXISTING NON-COMFORMITY

EXISTING COVERAGES

EXIST. DWELLINGS = 1,490 S.F. (59.60%)
EXIST. DECK/STEPS (SLATTED) = EXEMPT
EXIST. CONC. WALKS/PATIO = 897 S.F.
TOTAL = 2,397 S.F. (95.48 %)

PROPOSED COVERAGES

PROP. DWELLING = 936 S.F. (37.44%)
PROP. CONC. DRIVEWAY = 243 S.F.
PROP. PAVEMENT PATIO = EXEMPT
PROP. REAR DECK/STEPS (SLATTED) = EXEMPT
PROP. MECHANICAL PLATFORM (SLATTED) = EXEMPT
TOTAL = 1,179 S.F. (47.16 %)

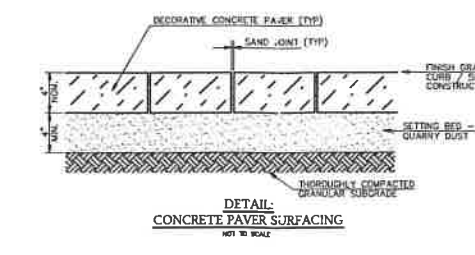
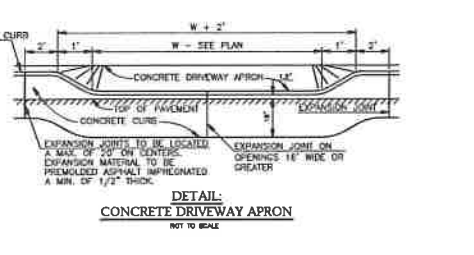
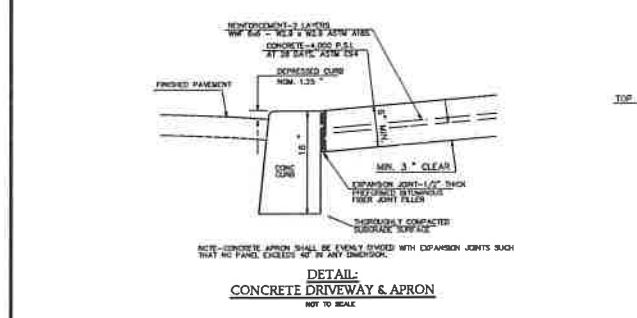
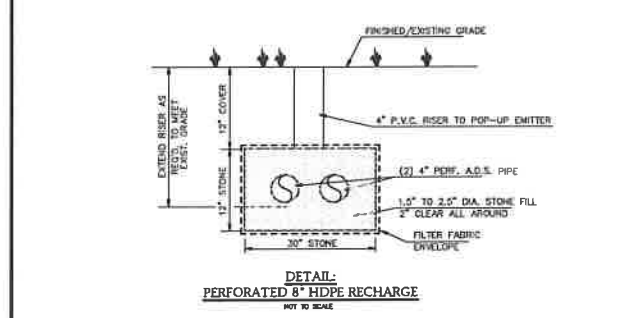
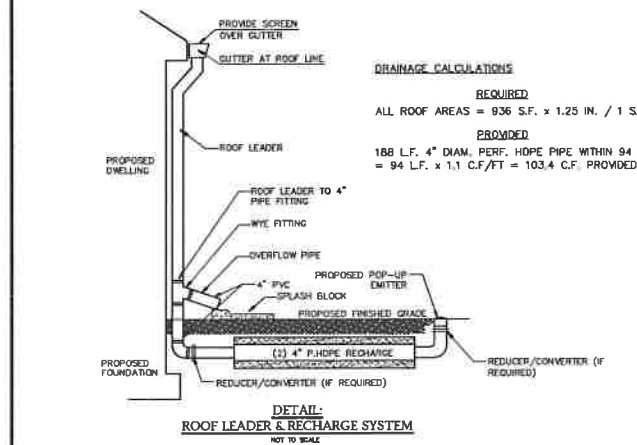
PLAN NOTES

- EXISTING PUBLIC SEWER AND WATER SERVICES TO REMAIN AND BE REUTILIZED.
- ELEVATIONS BASED ON 1988 N.A.V.D.
- PROPERTY IS LOCATED IN ZONE "AE" - ELEV. 9.0 PER FEMA PRELIMINARY FIRM MAPS
- PROPERTY IS LOCATED WITHIN PRELIMINARY FIRM PANEL No. 34025C0456G.
- HOUSE HEIGHT NOT TO EXCEED 33 FT. ABOVE TOP OF CURB ELEVATION
- NEW 12 FT. WIDE DRIVEWAY APRON IS PROPOSED ON FIRST AVENUE.
- PROPOSED REAR WOOD OPEN DECK AND STEPS TO BE SLATTED.
- SIDE YARD MECHANICAL EQUIPMENT AT 3.5 FT. - VARIANCE REQUIRED

BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY EAST COAST ENGINEERING, DATED 1/14/22.

MAX. BUILDING HEIGHT CALCULATIONS

TOP OF GRIDER = 16.5
+ HOUSE = 23.55
RIDGE HEIGHT = 40.05
- AVG. CURB = 7.14
HOUSE HEIGHT = 32.64
(MAX ALLOWABLE HEIGHT = 33.0)



REV. NO.	DATE	DESCRIPTION

PLOT PLAN
117 FIRST AVENUE
BLOCK 168 - LOT 6
FOR KEN & ELLEN LEBLANC
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

KBA ENGINEERING SERVICES LLC
Engineering | Planning

2517 Route 36, Bldg E, 5th Fl
Manasquan, NJ 08740
P: (732) 722-8656 | F: (732) 722-8657
KBAEngineering.com
KBAEngineering@gmail.com
Certificate of Authority No. 204302000

DRN	CHK
SW	JK
PROJECT NO.	2022-057
SCALE	AS SHOWN
DATE	2/25/2022
SHEET	1 OF 1

JOSEPH J. KOCIUBA, P.E., P.P.
P.E. License No.: GE45850